

DOWNTOWN NAPA HISTORIC RESOURCES
DESIGN GUIDELINES
NAPA, CALIFORNIA
[10130A]

PREPARED FOR
NAPA COMMUNITY REDEVELOPMENT AGENCY



PAGE & TURNBULL

imagining change in historic environments through design, research, and technology

MARCH 9, 2012

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INTRODUCTION

The Downtown Napa Historic Resources Design Guidelines were prepared by Page & Turnbull for the City of Napa as part of the Downtown Specific Plan process.

Goals And Purpose

The goal of this document is to provide the City of Napa with a set of Design Guidelines that may be referenced by City staff, building owners, tenants, and residents to make informed design decisions regarding historic resources in Downtown Napa. The purpose of the Design Guidelines is to clearly document the historic status of Downtown resources, identify character-defining features of each resource, and outline considerations for each building in light of its historic status.

The Downtown Napa Design Guidelines emphasize best preservation practices and design options for historic resources. There are many creative ways to approach alterations to historic resources and sensitive infill construction. The Guidelines are not intended to restrict or regulate, but are intended to provide guidance and maximize flexibility in the event of alterations to historic resources. Additionally, the Guidelines are not intended to advocate for specific projects to occur and do not take into account economic or architectural feasibility of these recommendations; this would have to be investigated and considered on a case by case basis.

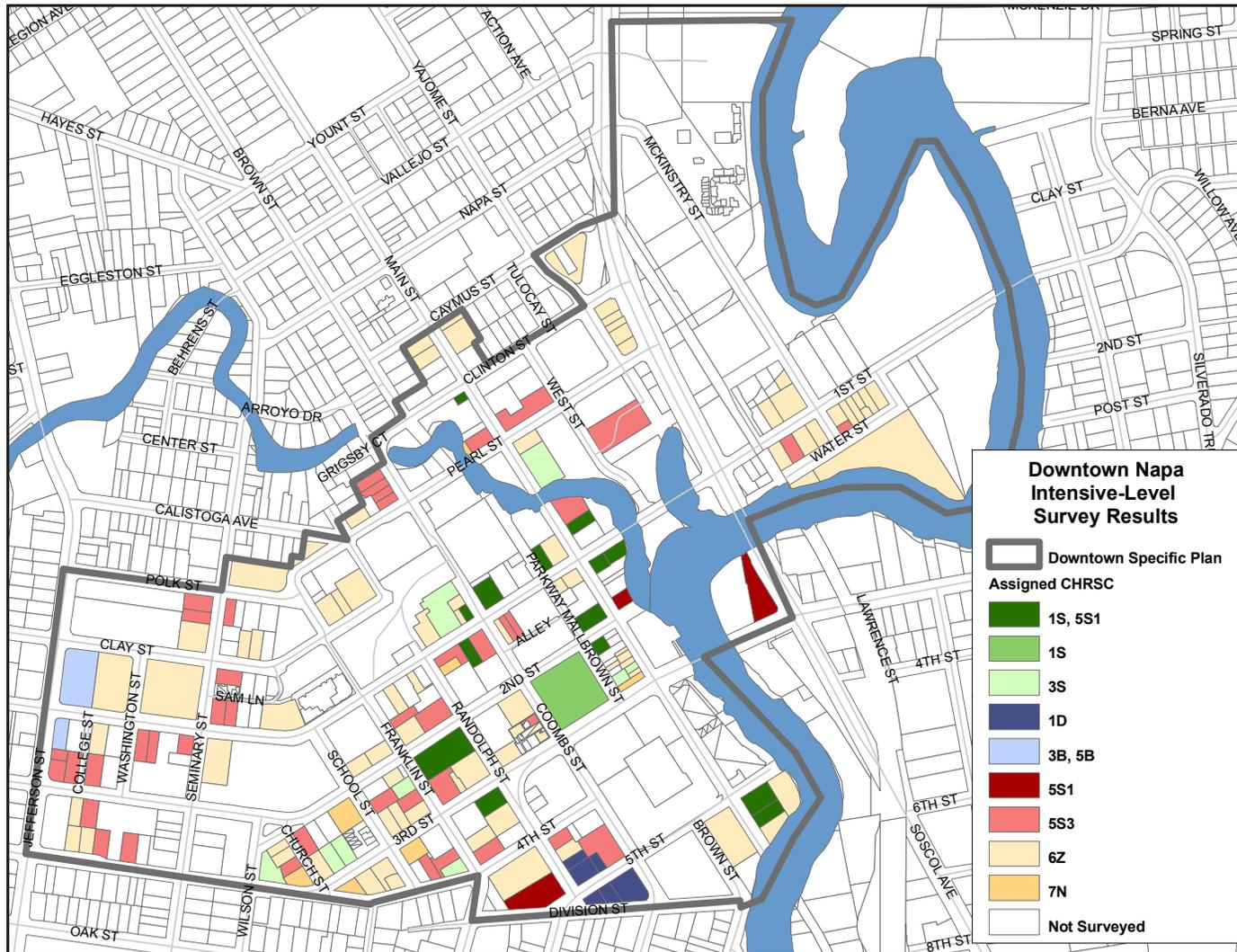
Methodology

The Downtown Napa Design Guidelines are based upon data from the *Downtown Napa Historic Context Statement & Survey Report* (prepared by Page & Turnbull and adopted by Napa City Council, July 2011), and are organized by historic resource. All buildings identified in the survey as eligible for listing in the national, state, or local historical registers are included in this document. The survey data provided background information for each historic resource: the date of its construction, its historic status code, and its architectural style. From this information, the character-defining features of each building were identified. The design options to consider and avoid were generated to preserve and highlight the character-defining features of each building. Historic resources which contribute to the Napa Abajo/Fuller Park Historic District were not included in the Downtown Napa Design Guidelines because these resources are included in the Napa Abajo/Fuller Park Design Guidelines (RACESTUDIO, 1998).

The recommendations regarding potential additions to the building and adjacent new construction were driven by the historic status of the building and the location of the building in relation to neighboring historic resources. An appropriate design recommendation for one historic resource may not be appropriate for another; therefore, the guidelines created for each building—specifically those that pertained to potential additions and adjacent new construction—were generated based on the types



*Top: Historic commercial buildings on Main Street
Middle: Randolph Street from Second Street
Bottom: Residences on Randolph Street in Napa Abajo/
Fuller Park Historic District*



Map of historic resources within the Downtown Specific Plan Area, colored by California Historical Resource Status Code (CHRSC). These codes represent a statewide system for cataloguing historic resources, and are used here to describe the historical ratings assigned to each property within the Downtown Specific Plan area. See page 9 for a definition of each CHRSC. (Page & Turnbull, July 2011)

of resources present on the city block on which the resource was located.

The Guidelines provide recommendations regarding the location and massing of additions and adjacent new construction, but do not guide its form, materiality, style or design. These aspects must be reviewed by the City of Napa on an individual basis. Furthermore, the development recommendations in these Guidelines should be compared with the zoning regulations and general design guidelines in the Downtown Specific Plan to ensure a consistent approach.

Summary Of Existing Conditions

Historic resources within the Downtown Specific Plan boundary include several historic building types: commercial, civic and institutional, residential, and industrial. These resources range in construction date from the Victorian era through the post-World War II era, and are rendered in a variety of architectural styles.

Historic commercial properties are generally centrally located in Downtown Napa, especially along Main, Brown, and Coombs Streets and First, Second, and Third Streets. Historic civic buildings also tend to be centrally located downtown. The Napa Mill Complex in the southeast near the Napa River is the only historic industrial building complex remaining downtown.

The commercial core is surrounded by several historic residential neighborhoods: the Oxbow, or Cornwall's Addition, located to the northeast; St. John's Addition and the Calistoga Avenue Historic District, both located to the north; West Napa, located across Jefferson Street to the west; and the Napa Abajo/Fuller Park National Register Historic District, which overlaps with the southern portion of Downtown.

Within the Downtown Specific Plan boundary, historic residential development includes primarily single-family dwellings, with only a handful of examples of multi-family dwellings and apartment buildings. Historic residences are primarily located near the perimeter of the downtown, in transition areas to the adjacent historic neighborhoods of St. John's Addition, Calistoga Avenue, Napa Abajo, and Fuller Park. Institutional buildings, primarily churches and schools, are also located in the residential or transition areas of Downtown. Agricultural properties no longer remain within the Downtown Specific Plan boundary.

The buildings featured in the Downtown Napa Historic Resources Design Guidelines range in condition and historic integrity: some have been recently restored and are in excellent condition, while others are deteriorating or have received incompatible modifications since their original construction.

Please refer to the "Downtown Napa Historic Context Statement & Survey Report" (Page & Turnbull, 2011) for a more complete discussion of historic property types within the Downtown Specific Plan area.

Coordination with the Downtown Specific Plan

This document was prepared by Page & Turnbull as part of the Downtown Specific Plan (DSP) process. The development recommendations included in these Historic Resources Design Guidelines are intended to supplement the general design guidelines presented in the DSP.

These Guidelines are not a regulatory document, but rather are intended to allow flexibility for new growth while respecting the historic character of Downtown Napa. Other chapters of the DSP should be considered in addition to this document to confirm the details of applicable development goals and regulations for each proposed project. Please note that in these Guidelines, recommendations for the height of additions and adjacent new construction reflect guidance that is specific only to the historic character of the subject resource, and may be different from the allowable zoning as specified in other chapters of the DSP.

Please refer to the City of Napa's Downtown Specific Plan website for additional information about the plan's process and goals: <http://www.downtownnapaspecificplan.org>.

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BACKGROUND INFORMATION & PREVIOUS STUDIES

The Downtown Napa Historic Resources Design Guidelines provide guidance for individual historic buildings within the Downtown Specific Plan boundary. In addition to referencing the Downtown Napa Historic Resources Design Guidelines, project sponsors renovating historic buildings or developing infill lots within the Downtown Napa Specific Plan boundary should also reference previous historical documentation and development guidelines. For projects within the Napa Abajo/Fuller Park Historic District, the Design Guidelines for the Napa Abajo/Fuller Park Historic District (1998) should be applied. Renovation and development within the Oxbow District and along the Napa River should further the goals identified by the Soscol Corridor/Downtown Riverfront Development and Design Guidelines (2000). These documents provide information regarding zoning, setbacks, site development, parking, and site features that are not covered in the Downtown Napa Historic Resources Design Guidelines.

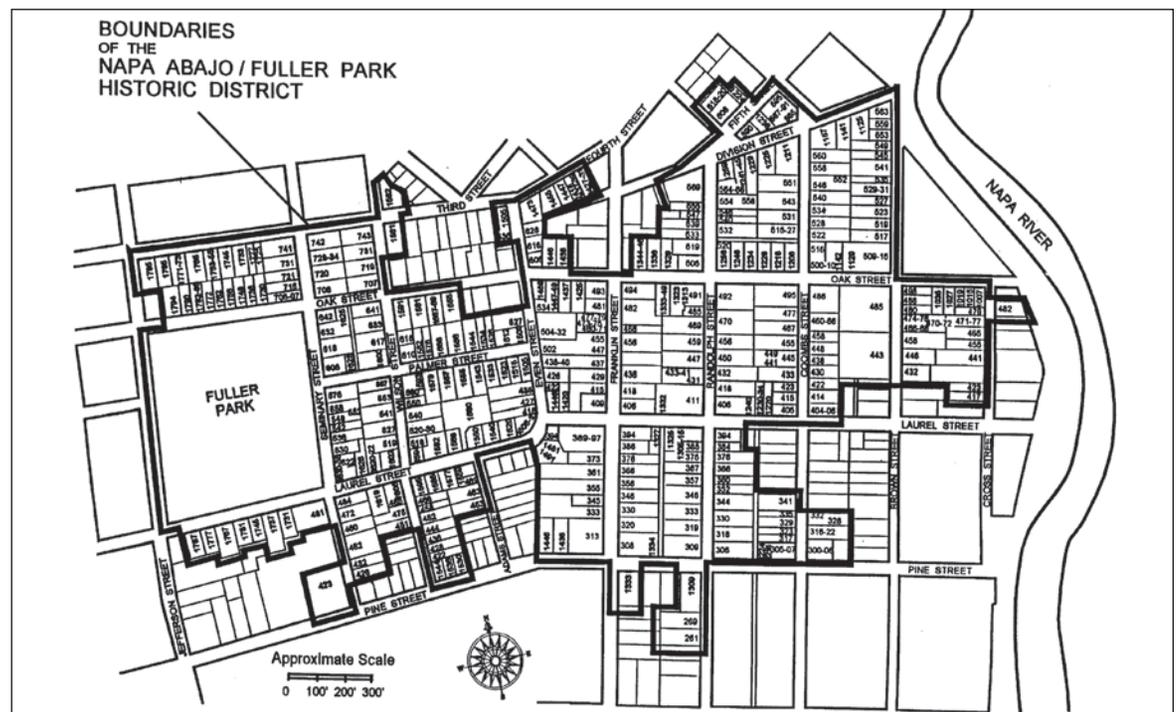
Other City documents that may be useful include:

- City of Napa Envision 2020 General Plan
- City of Napa Zoning Ordinance
- Downtown Riverfront Urban Design Plan (2003)
- Downtown Napa Mixed Use and Residential Infill Development Strategy (2004)
- Residential Design Guidelines (Includes Mixed Use Guidelines) (2004)
- Soscol Gateway Vision (2004)
- Napa River Parkway Master Plan (2005)

Napa Abajo / Fuller Park Historic District (1998)

The “Design Guidelines for the Fuller Park/ Napa Abajo Historic District” (1998) provide rehabilitation guidelines for historic buildings in the Fuller Park and Napa Abajo neighborhoods. While entitled “Design Guidelines for the Napa Abajo/Fuller Park Historic District” upon their original publication, these guidelines are now widely applied to historic buildings and districts

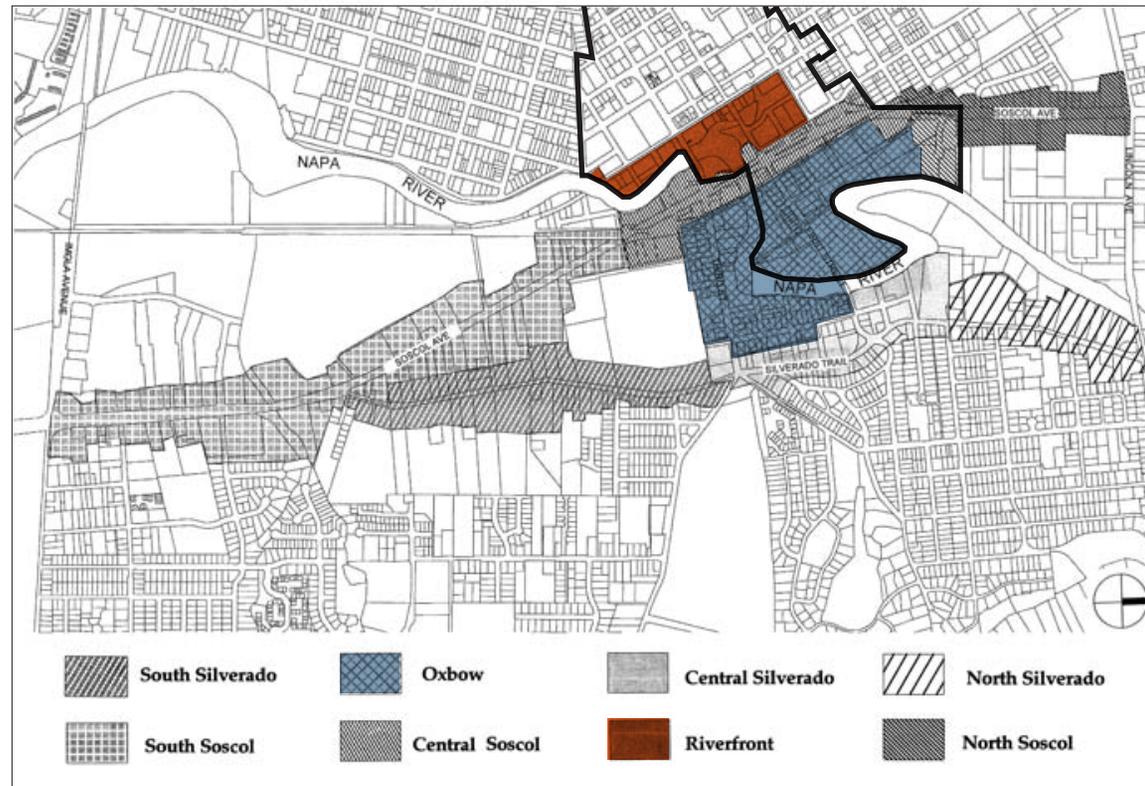
throughout the City of Napa. The guidelines are used when developing infill housing in official historic districts and for the renovation of cultural and historic landmark properties. The document includes comprehensive preservation information and rules regarding historic building materials, windows, doors, porches, and architectural details as well as additions, seismic retrofitting, new construction and accessibility. Additionally, accessory structures, color, landscape design, and mechanical equipment topics are covered.



Napa Abajo-Fuller Park Historic District Boundaries (1998)

Soscol Corridor / Downtown Riverfront Development & Design Guidelines (2000)

The “Soscol Corridor/Downtown Riverfront Development and Design Guidelines” (2000) addresses broad urban design objectives within Downtown Napa and along the Soscol Avenue Corridor. The boundaries of this document overlap with the Downtown Specific Plan boundary. The document was prepared for Soscol Avenue, Silverado Trail, the Oxbow District, and the Riverfront District. Broad goals established in the design guidelines include the promotion of human-scaled, pedestrian-friendly design that is inviting to residents and visitors and new development and renovations that maximize the potential for downtown activity. Design that is consistent with the architectural tradition of the City of Napa is also encouraged throughout the document. Specific goals for the Oxbow District and Riverfront District included “unify the Oxbow Area as a visitor destination district that is integral to greater Downtown Napa, while maintaining the area’s residential character and preserving the integrity of its existing neighborhood areas” and “Create an exciting, active and attractive pedestrian-oriented Riverfront District – a showcase for Downtown and the Napa River.” These goals should be considered in addition to the recommendations presented in these Downtown Napa Historic Resources Design Guidelines.



*Soscol Corridor / Downtown Riverfront Boundaries, with Downtown Specific Plan Boundary outlined
("Soscol Corridor / Downtown Riverfront Development & Design Guidelines," page 5)*

HISTORIC RESOURCES DESIGN GUIDELINES

General Guidelines

The following bullets provide general information that applies to historic resources and new construction adjacent to historic resources within the Downtown Specific Plan area. This list is a supplement to the building-specific guidelines presented in this chapter, and is intended to help City of Napa staff, property owners, tenants, and residents to consider best preservation practices while designing and reviewing alterations to historic resources.

ALTERATIONS TO HISTORIC RESOURCES

- Where possible, follow the *Secretary of the Interior's Standards for Rehabilitation*
- Avoid removal of historic materials or covering historic architectural details with modern cladding, awnings, or signage
- Continue a building's original use if possible
- Corner parcels will typically have at least two significant facades, both of which should be preserved
- Use historic photographs where possible to inform accurate rehabilitation projects

- Use paint colors that complement, rather than detract from, the historic character of the property; if possible, consult historic photographs or specifications to determine whether a paint scheme is historically appropriate
- Working within the existing building envelope is recommended before proposing an addition. However, if additions are desired, they should generally be located on a secondary or rear facade—or set back from the primary facade if they are rooftop additions—and should not interfere with the building's roofline
- For adaptive reuse of historic resources, consider consulting with a preservation architect to ensure renovations are compatible

NEW CONSTRUCTION ADJACENT TO HISTORIC RESOURCES

- Consider how the style, massing, rhythm, setbacks, and materials of new construction may affect the character of adjacent historic resources
- New construction near historic residential properties should be set back from the street, and should preserve the open space and rhythm between residences

- New construction near historic commercial buildings can abut adjacent buildings to create a solid block face unless otherwise specified
- If an addition or new construction is under consideration, reference the information for adjacent historic resources to verify that the proposed change is compatible with both the subject property and the adjacent historic resources
- Because these Guidelines are not a regulatory document, the building code and zoning code should be consulted in addition to this document to confirm applicable development regulations for each property

Secretary of the Interior's Standards for the Treatment of Historic Properties

The *Secretary of the Interior's Standards for the Treatment of Historic Properties* (Standards) provide guidance for working with historic properties. The Standards are used as an analytic tool by federal agencies and local government bodies across the country to evaluate proposed rehabilitative work on historic properties. There are four sets of standards to guide the treatment of historic properties: Preservation, Rehabilitation, Restoration, and Reconstruction. The *Standards for Rehabilitation* allow for the most flexibility, and are most commonly applied:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Additional information about all four sets of Standards can be found online at <http://www.nps.gov/hps/tps/standguide/>

California Historical Resource Status Codes (CHRSC)

The following table includes a definition of all California Historical Resource Status Codes (CHRSC) used in this document. These codes represent a statewide system for cataloguing historic resources, and are used here to describe the historical ratings assigned to each property surveyed within the Downtown Specific Plan area.

1	Properties listed in the National Register (NR) or the California Register (CR)
1D	Contributor to a district or multiple resource property listed in NR by the Keeper. Listed in the CR.
1S	Individual property listed in NR by the Keeper. Listed in the CR.
3	Appears eligible for National Register (NR) or California Register (CR) through Survey Evaluation
3B	Appears eligible for NR both individually and as a contributor to a NR eligible district through survey evaluation.
3D	Appears eligible for NR as a contributor to a NR eligible district through survey evaluation.
3S	Appears eligible for NR as an individual property through survey evaluation.
5	Properties Recognized as Historically Significant by Local Government
5D1	Contributor to a district that is listed or designated locally.
5D3	Appears to be a contributor to a district that appears eligible for local listing or designation through survey evaluation.
5S1	Individual property that is listed or designated locally.
5S3	Appears to be individually eligible for local listing or designation through survey evaluation.
5B	Locally significant both individually (listed, eligible, or appears eligible) and as a contributor to a district that is locally listed, designated, determined eligible or appears eligible through survey evaluation.
6	Not Eligible for Listing or Designation as specified
6Z	Found ineligible for NR, CR or Local designation through survey evaluation.
7	Not Evaluated for National Register (NR) or California Register (CR) or Needs Reevaluation
7N	Needs to be reevaluated (Formerly NR Status Code 4)
7N1	Needs to be reevaluated (Formerly NR SC4) – may become eligible for NR w/restoration or when meets other specific conditions.

How To Use This Document

The information in this chapter is organized by historic resource, and listed alphabetically by street address. For each building, the Guidelines include a photograph, background information about the historic resource, design considerations for the building, and recommendations regarding additions and adjacent new construction (see illustration, right).

A key map indicates the location of the building. The current historic status of the building, or the California Historical Resource Status Code (CHRSC) assigned to the building during the Downtown Napa Intensive-Level Survey, is noted for each resource. This rating indicates whether the building is a potential Napa Landmark, a listed Napa Landmark, eligible for the National Register of Historic Places, or listed on the National Register of Historic Places. A key to CHRSCs is included on the preceding page. The character-defining features of the building, or design qualities that make the historic resources significant, are also included.

Below the listed features, design considerations and alterations to avoid are identified. The options to consider or avoid may include best preservation practices and suggest alterations that may improve the overall design aesthetic of the historic resource.

The final section contains information regarding potential additions to the historic resource and guidelines for adjacent new construction. The Guidelines discuss whether an addition to the building is advisable, where the addition may be most appropriately located, and recommends the height of the addition. Recommendations are also made regarding the size and location of new construction directly adjacent to and across the street from the historic resource.

In addition to the standard information included for each historic resource in the Design Guidelines, annotated photographs, historic photographs, and/or detail photographs are included when available. This additional information is included to illustrate the important character-defining features of the building, clarify the meaning of recommendations to consider or avoid, and identify opportunities for additions or new construction.

A list of all properties included in these guidelines is included in the appendix.

Please Note:

In this document, references to height limitations are used to refer only to the relationship between potential new construction and historic resources, not to an absolute height limit as established by official City policy. The recommendations for adjacent new construction included in this document should be coordinated with the zoning and development standards put forth in the Downtown Specific Plan.

Building-Specific Guidelines

Building Name & Address

Annotated photograph of primary facade

List of character-defining features to retain

Alterations to avoid, based on best preservation practices

Detail photos & historic photos, if available

HISTORIC RESOURCES DESIGN GUIDELINES
REVISED DATE: 1/10/2010

NICHOLS HOUSE
1562 Third Street



- Italianate style, including bracketed cornice, symmetrical facade, and pediment
- Pedimented front porch supported by distinctive turned posts
- Surface parking lot may provide opportunity for adjacent new construction
- Landscaped setback from Third and Wilson Streets; consider re-installing low fence based on historic photographs



146 10 DECEMBER 2010

APN: 003201001000
YEAR BUILT: 1879
ARCHITECT: Ira Gilchrist
STYLE: Italianate
USE: Residential
CHRSC: 35

Retain

- Retained appearance
- Two-story massing with symmetrical facade
- Italianate style
 - Pyramidal roof with over-hanging eaves supported by decorative brackets and capped by a pediment
 - Wood cladding
 - Wood sash windows
 - Decorative window surrounds
 - Pedimented front porch supported by distinctive turned wood posts
 - Paired paneled wood doors with glazed transom
- Landscaped setback from Third and Wilson Streets

Consider

- Installation of new openings on primary (Third Street) or west (Wilson Street) facades
- Re-installing low fence (see historic photo)
- Reversion of residential usage (single-family dwelling or sensitive apartment conversion)
- If converted to commercial use, use free-standing or window signage

Avoid

- Removal of original architectural details and ornamentation
- If converted commercial use, avoid illuminated box signs
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building, located northeast intersection of Wilson and Third Streets. Several local Landmark-eligible buildings (553 status code) stand on adjacent lots to the east.
- The surface parking lot at the east edge of the subject parcel may provide an opportunity for small-scale adjacent new construction. Adjacent new construction should not exceed the height of the subject building and should maintain the building spacing typical along Third Street.
- The non-historic buildings across Wilson Street to the west of the subject building may provide an opportunity for large-scale new development. Construction across the street should not exceed three stories.
- Additions are discouraged. The building is eligible to be listed on the National Register and should be treated with the utmost of care, as it retains a high level of integrity.

Key map indicating location of building

Basic information, including APN, construction date, architect, architectural style, and status code (CHRSC)

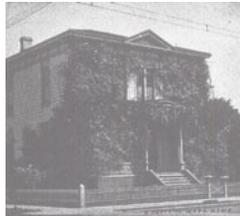
Design options to consider, based on best preservation practices

Recommendations regarding additions and adjacent new construction (relative to historic character of subject building)

Wilson Street facade with regular fenestration pattern and formal landscaping.



Nichols House covered with ivy, 1908. (Darrin, 52)



DOWNTOWN NAPA
NAPA, CALIFORNIA

HISTORIC RESOURCES DESIGN GUIDELINES

PAGE & TURNBULL 147

CENTER BUILDING

810-816 Brown Street



Retain pediment, cornice, and stone

Replace non-historic fenestration
with historically compatible windows

Fenestration on southeast facade
does not appear to be original

Explore alternate storefront shading to
expose transom lights

Adjacent surface parking lot
may provide opportunity for new
construction or a small addition



APN	003222011000
YEAR BUILT	1904
ARCHITECT	William Corlett
STYLE	Twentieth Century Commercial
USE	Commercial (Office)
CHRS	3S

Retain

- Two story massing
- Parapet roof with architectural detailing
- Stone cladding of second story
- Twentieth Century Commercial architectural style

Consider

- Restoration of building based on historic photographs
- Replacing windows with a design that utilizes the full window opening, wood sashes, and historically accurate light divisions
- Cohesive signage and awning program
- Coordination and consistency among the storefronts

Avoid

- Additional architectural decoration that competes with the historic design
- Harmful chemical and physical treatments
- Damage to or removal of stone or tile

Additions & Adjacent New Construction

- The Center Building is located near the northeast corner of Brown and Third Streets. A National-Register-eligible property is located to the rear (east) of the subject property, and the National-Register-listed County Courthouse is located across Brown Street.
- Although the subject property is National-Register-eligible, a side addition to the building may be allowable if it is set back from the primary façade on Brown Street and does not exceed one-story in height. A small rooftop addition on the rear half of the building may also be acceptable as long as it does not greatly exceed the height of the existing stepped parapet.
- Alterations and additions should meet the Standards to preserve the building's eligibility for listing in the National Register.
- The subject property is located between a non-historic building and a surface parking lot, both of which may provide an opportunity for adjacent new construction.
 - Because the building has a strong street presence and is located directly across from the County Courthouse, it is possible for new construction to be three to three-and-one-half stories in height.
 - New construction can directly abut the sides of the Center Building
 - There are no height limitations relative to historic resources on new construction south of Third Street, except as otherwise prescribed by the DSP Development Standards.



Center Building—originally F. Martin Building—showing original storefronts, 1908. (Darms, 98)



Brown Street from Third Street, 1908. (Darms, 72)

NAPA COUNTY COURTHOUSE

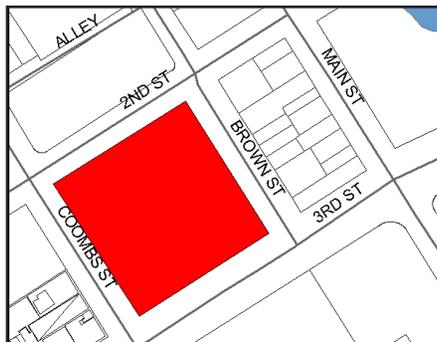
825 Brown Street (810 Coombs Street)



Italianate architectural details, including cornice with “Justice” signage

Blind windows

Location in center of landscaped block



APN	003215001000
YEAR BUILT	1878
ARCHITECT	Ira Gilchrist/Newsom Brothers
STYLE	Italianate
USE	Civic (Courthouse)
CHRS	IS

Retain

- Restored appearance, including materials and Italianate style architectural details
- All components of building, including Courthouse, Former Jail, and Hall of Records
- Free-standing building plan. All facades are significant (centrally located on landscaped block)
- Fenestration pattern, including blind windows and arched surrounds

Consider

- If changes are to occur, they should be historically accurate
- Retention of signage in existing location

Avoid

- Harmful chemical and physical treatments
- Damage or removal of historic fabric
- Cutting new openings in any facade

Additions & Adjacent New Construction

- The Napa County Courthouse is listed in the National Register, and in order to preserve its eligibility for listing, no major changes or additions should occur. This applies along all facades and at the rooftops.
- Alterations should be minor, and should meet the Standards to preserve the building's eligibility for listing in the National Register.
- No height restrictions relative to historic resources for new construction directly across the street from the subject building, except as otherwise prescribed by the DSP Development Standards. However, diagonally across the intersection of Coombs and Third Street, the large surface parking lot may provide an opportunity for new development. Development of this parcel should defer to the character of the First Presbyterian Church (1333 Third Street), and should preserve views of the spire.



From left, Hall of Records, former Jail, and Courthouse. Central location on city block is important, and all facades are significant. Recent alterations to former jail section are compatible in materials, fenestration pattern, and massing.



Courthouse with original cupola, circa 1900. Photograph by Mark Strong. (Kernberger, 27)

ALEXANDRIA HOTEL
840-844 Brown Street



Square corner towers capped by wide overhanging eaves and terra cotta tiles

Palladian windows

Non-historic addition (circa 1980) could be replaced, if desired

Decorative beltcourse

Explore alternate storefront shading to expose transom lights



APN	003222001000
YEAR BUILT	1910
ARCHITECT	Unknown
STYLE	Mediterranean Revival
USE	Commercial (Hotel)
CHRS	IS, 5S1

Retain

- Restored appearance
- Three story massing
- Mediterranean Revival architectural style
 - Parapet roof with wide over-hanging eaves, clad with terra cotta tiles
 - Square corner bay window towers
 - Brick masonry cladding with architectural detailing
 - Palladian windows
 - Shaped window opening
 - Decorative beltcourse
- Multi-light storefront transoms

Consider

- Replace arched canopy above the entrance with rectangular shape to match transom lights and other awnings
- Explore alternate storefront shading to expose transom lights above display windows
- Encourage cohesive signage program: on windows, the building, on canopies, etc.

Avoid

- Harmful chemical or physical treatments to brick facades

- Further additions, except within the existing footprint

Additions & Adjacent New Construction

- The subject property is located on the southeast corner of the intersection of Second and Brown Streets, and is listed in the National Register and as a local Landmark Property. In order to preserve its eligibility for listing, no major changes or additions should occur. This applies along both Brown and Third Street.
- Alterations should be minor, and should meet the Standards to preserve the building's eligibility for listing in the National Register.
- The subject property has a three-story addition that extends from the east and south facades of the building (circa 1980). The addition is slightly set back from the primary façade on Brown Street. To prevent the historic portion of the building from being overwhelmed by new construction, further additions are discouraged. However, a new addition could be constructed in the existing footprint.
- Non-historic buildings adjacent to the subject property on the east and south may provide an opportunity for adjacent new construction. Because of the large massing of the building, there is no height limitation relative to historic resources on new construction adjacent to the subject building.



Alexandria Hotel, circa 1975. Adjacent buildings are visible, as existing addition had not yet been constructed. (Kilgallin, 27)



Detail of transom lights and restored storefronts.

827 CHURCH STREET



Flared hipped roof with dormer

Wrap-around porch supported by columns

Adjacent non-historic property may provide opportunity for adjacent new construction

Landscaped setback from Church Street



APN	003201004000
YEAR BUILT	1905
ARCHITECT	Unknown
STYLE	Classical Revival
USE	Residential
CHRSC	553

Retain

- Restored appearance
- Classical Revival and Craftsman architectural styles
 - One and one-half stories over a raised basement massing
 - Flared hipped roof with over-hanging eaves and hipped dormer window
 - Wrap around porch supported by columns
 - Wood cladding
 - Wood sash windows with leaded glass
 - Partially glazed wood paneled door

Consider

- Retention of residential use
- If converted to commercial use, free-standing or flat applied signage

Avoid

- Addition of architectural details that create a false sense of historical development
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located on a small city block with a National-Register eligible property (Nichols House) and several local Landmark-eligible buildings (5S3 status code). Adjacent new construction should not exceed two stories, or the height of the Nichols House.
- The non-historic building (6Z status code) located north of the subject building may provide an opportunity for new development. Adjacent new construction should respect the rhythm and scale of residences on this street, and should not exceed two stories. New construction across Church Street, if any, should not exceed three stories.
- Additions should not interfere with roofline. Rear additions are recommended; however, a side addition is possible if it is slightly lower than the subject building and set back from the primary façade of the building on Church Street.

TREADWAY & WIGGER FUNERAL CHAPEL

623 Coombs Street



Low, horizontal massing with flat roof and simple ornamentation typical of Modern style

Retain type and location of existing signage

Wood sash windows and stucco cladding



APN	003271005000
YEAR BUILT	1920 / 1950
ARCHITECT	Unknown
STYLE	Modern
USE	Commercial (Funeral Parlor)
CHRS	553

Retain

- Modern architectural style
 - One story massing with unusual footprint
 - Flat roof
 - Recessed entry
 - Wood frame windows
 - Side carports
 - Stucco cladding
 - Partially glazed double doors surmounted by a glazed transom

Consider

- Retaining type and location of existing signage

Avoid

- Addition of architectural details that compete with the simplicity of the historic design
- Further additions to the property

Additions & Adjacent New Construction

- The subject property is located at the northwest corner of Coombs and Fifth Streets. Buildings which are part of the Napa Abajo / Fuller Park Historic District are located to the west of the subject property.

- A surface parking lot is located on the subject parcel to the north of the building and a second surface parking lot is located on the lot north of the subject property. Both may provide an opportunity for new development:

- The subject building features a strong, low, horizontal design. Adjacent new construction to the north of the building should therefore not exceed two stories in height, and should not directly abut the building
- Development on the surface parking lot to the north should also respect the character of the nearby residence at 642 Randolph Street.

- There is no height limitation relative to historic resources on new construction across Fourth Street or across Coombs Street from the subject property.

- Due to the building's unusual form, adjacent new construction is recommended over additions. If additions are necessary, it is recommended that they occur at the rear or west façade of the building; however, small side additions may be acceptable. Rear additions to the building should not exceed two stories in height.



Addition on the corner of Fifth and Coombs, circa 1950.



Rear loading dock and carport, Fifth Street.

821 COOMBS STREET



Simple bracketed cornice

Appropriate signage location in frieze

Replace awning with simple awning that respects storefront rhythm and shape

Clerestory windows

Recessed entry with compatible doors and glazed transom

Tile base



APN	003300001000
YEAR BUILT	1915
ARCHITECT	Unknown
STYLE	Twentieth Century Commercial
USE	Commercial (Vacant)
CHRS	553

Retain

- Twentieth Century Commercial style
 - One story massing
 - Flat roof with parapet
 - Recessed entry
 - Partially glazed, wood, double door surmounted by glazed transom
 - Storefront windows surmounted by transom lights
 - Brick masonry cladding
 - Tile base (if determined to be significant)

Consider

- An awning above the main entry which does not mask the transom lights
- Replacement of non-historic storefront elements
- Retain type and location of existing signage (window decal or awning signs)

Avoid

- Addition of architectural details that create a false sense of historical development
- Additions that overwhelm the subject property
- Punching new openings in the facade

Additions & Adjacent New Construction

- Additions to the subject building may be two stories in height if constructed at the west (rear) building façade. The building may also be able to accept a one-story rooftop addition that is considerably set back from the Coombs Street facade and is simply detailed.
- The subject property is located on a block which contains non-historic buildings (6Z status code) and surface parking lots, all of which may provide opportunities for new development.
- Because the subject building is one-story in height, new construction to the north and south of the subject building should not exceed two stories in height.
- New construction to the west (rear) of the building should not exceed three stories in height.

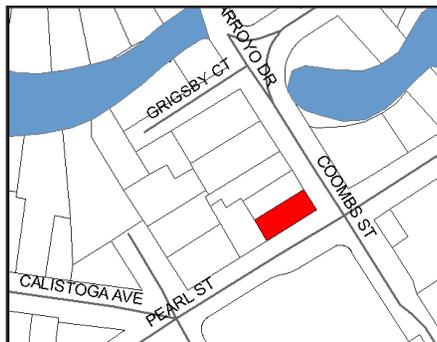
1207 COOMBS STREET



Angled bay window with original double-hung wood sash windows

Remove non-historic awning

Maintain front and side setbacks



APN	003133009000
YEAR BUILT	1895
ARCHITECT	Unknown
STYLE	Vernacular / Stick-Eastlake
USE	Residential / Commercial Conversion
CHRS	553

Retain

- One-story-over-raised-basement massing
- Pyramidal roof
- Square bay window with pediment
- Simple front porch
- Set back from street
- Original wood windows
- Wood siding
- Concrete curbs
- Vernacular/Stick-Eastlake style (minimal ornamentation)

Consider

- Removing awning
- Re-introducing residential use
- If commercial use is retained, consider retaining existing signage location (freestanding)

Avoid

- Addition of architectural details that create a false sense of historical development
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- Additions should not interfere with roofline. Rear or side one-story additions are recommended. If a side addition, should be set back from front façade.
- Maintain existing open space between buildings
- No development restrictions across Coombs Street



Pearl Street facade

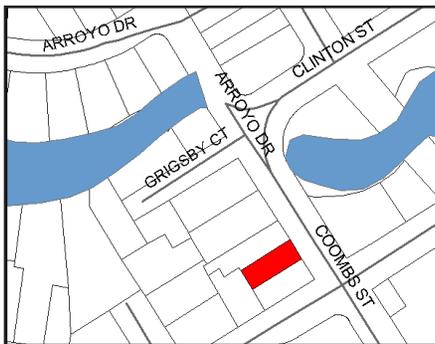
1213 COOMBS STREET



Front-facing gabled roof

Consider re-introducing fenestration on north side

Maintain front and side setbacks



APN	003133008000
YEAR BUILT	1870
ARCHITECT	Unknown
STYLE	Vernacular / Greek Revival
USE	Residential / Commercial Conversion
CHRSC	553

Retain

- Two-story massing
- Front-facing gable roof
- Simple front porch with battered columns
- Set back from street
- Original wood windows
- Wood siding
- Vernacular/Greek Revival style (No ornamentation)

Consider

- Re-introducing fenestration on north side
- Re-introducing residential use
- If commercial use is retained, consider retaining existing signage location (window decals)

Avoid

- Addition of architectural details that create a false sense of historical development
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- Additions should not interfere with roofline. Rear or side one-story additions are recommended. If a side addition, should be set back from front façade.
- Maintain existing open space between buildings
- No development restrictions across Coombs Street

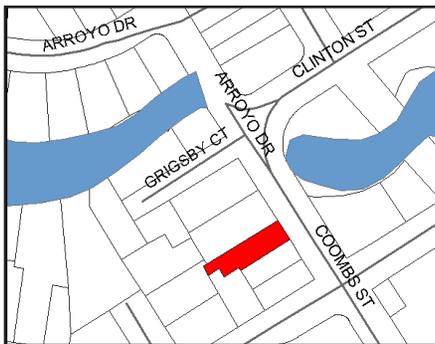
1219 COOMBS STREET



Replace non-historic porch with more compatible treatment

Maintain front and side setbacks

Prominent stair



APN	003133007000
YEAR BUILT	1880
ARCHITECT	Unknown
STYLE	Vernacular
USE	Residential / Commercial Conversion
CHRS	553

Retain

- One-story-over-raised-basement massing
- Pyramidal roof
- Set back from street
- Window surrounds (if original)
- Wood siding
- Vernacular style (No ornamentation)

Consider

- Replacement of non-historic porch with lower profile roof (e.g. hipped or shed)
- Replacement of non-historic door hood on south facade with lower profile roof
- Historically accurate door treatment
- Replacement of non-historic vinyl sash windows with wood
- Re-introducing residential use
- If commercial use is retained, consider retaining existing signage location (freestanding) or installing flat board signage

Avoid

- Addition of architectural details that create a false sense of historical development
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- Additions should not interfere with roofline. Rear or side one-story additions are recommended. If a side addition, should be set back from front façade.
- Maintain existing open space between buildings
- No development restrictions across Coombs Street



Non-historic door hood on south facade could be replaced with lower profile roof.

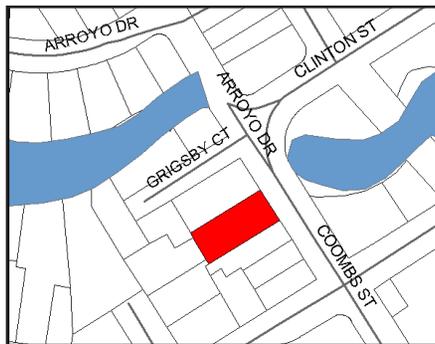
1227 COOMBS STREET



Pyramidal roof

Simple front porch with
minimal ornamentation

Maintain front and side setbacks



APN	003133006000
YEAR BUILT	1880
ARCHITECT	Unknown
STYLE	Vernacular
USE	Residential / Commercial Conversion
CHRSC	553

Retain

- One-story massing
- Pyramidal roof
- Simple front porch
- Set back from street
- Wood siding
- Vernacular style (No ornamentation)

Consider

- Compatible door treatment
- If windows are to be replaced, use wood. Maintain light divisions.
- Re-introducing residential use
- If commercial use is retained, consider flat board or low freestanding sign rather than hanging signs

Avoid

- Addition of architectural details that create a false sense of historical development
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- Additions should not interfere with roofline. Rear one-story additions are recommended.
- Maintain existing open space between buildings
- No development restrictions across Coombs Street from the subject property



North facade and rear yard, with secondary building at rear.

SEMORILE BUILDING

967-975 First Street



Brick cladding and terra cotta details

Iron balcony

Existing type and location of signage is compatible

Retain restored storefronts



APN	003231002000
YEAR BUILT	1888
ARCHITECT	Luther Turton
STYLE	Nineteenth Century Commercial
USE	Commercial (Restaurant)
CHRS	IS, 5S1

Retain

- Restored appearance, including Nineteenth Century Commercial style, brick cladding, iron cresting, balcony, fenestration, and storefronts

Consider

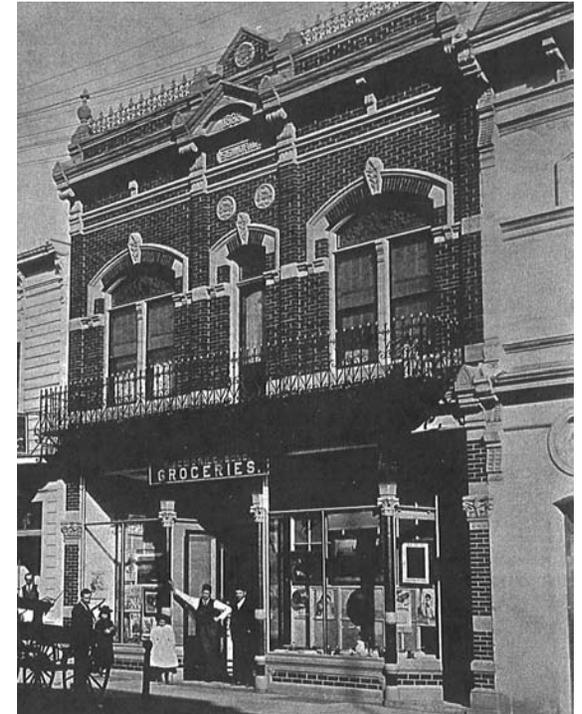
- If changes are to occur, future changes should be historically accurate
- Retention of type and location of signage

Avoid

- Harmful chemical and physical treatments
- Damage to or removal of brick or terracotta
- Cutting new openings
- Incompatible color, signage, and awning treatments
- Competing or multiple forms of signage

Additions & Adjacent New Construction

- The Semorile Building is located on First Street between the Napa River and the National Register-listed Winship Building. The Semorile Building is listed on the National Register of Historic Places and should therefore be treated with the utmost care. Additions to the building are discouraged.
- Alterations should be minor, and should meet the Standards to preserve the building's eligibility for listing in the National Register.
- The surface parking lot to the south and the non-historic building to the east of the Semorile Building may provide an opportunity for adjacent new construction.
 - Adjacent new construction should not exceed a height of three stories.
 - New construction across the street from the subject property should not exceed three stories.



Semorile Building, circa 1889. (Kernberger, 19)

FIRST NATIONAL BANK
1026-1030 First Street



Clean and repair cornice and frieze

Restore cartouche above entrance

Replace non-historic windows and
spandrel panels to match the building's
original recessed windows

Paired engaged Corinthian columns



APN	003167011000
YEAR BUILT	1905
ARCHITECT	Unknown
STYLE	Beaux Arts
USE	Commercial (Restaurant)
CHRSC	IS, 5S1

Retain

- All original façade elements, including cornice, engaged Corinthian columns, and entry treatment
- Engraved “First National Bank” signage in frieze

Consider

- Historically accurate window replacement, including setback, sill treatment, and clear glazing
- Restoration of original proportions of ground floor openings along the mall side, including removal of non-historic spandrel panels
- If new entries are needed on the Brown Street Mall facade, place only within existing openings (between pilasters) and read as new insertions
- Paint removal to expose original frieze on Brown Street Mall facade
- Cleaning and repair of the cornice
- Restoration of cartouche above entry door
- Rooftop HVAC that is less visible from the street

Avoid

- Damage to or removal of historic fabric
- Harmful chemical and physical treatments
- Punching new openings in primary facade

Additions & Adjacent New Construction

- Flexibility on the Brown Street Mall side for façade improvements.
- Brown Street Mall space should remain open space, or through street could be re-introduced. This building was historically on a prominent corner, and new construction should therefore not abut the Brown Street Mall facade.
- This building has a strong street presence and would not be threatened by new construction. Opportunity for new development may exist at non-historic building and surface parking lot to the east and north, respectively.
 - Adjacent new construction to the east may be up to three stories in height immediately adjacent to the subject building, but could step up higher towards the northeast corner.
 - No limitations on height or detail of new construction on surface parking lot to the north of the subject building.



*Historic photograph of First National Bank, 1917.
(Kilgallin, 18)*



Coombs Street facade. Note non-historic windows and spandrel panels.

GORDON BUILDING

1130-1146 First Street (1014 Coombs Street)



Tiled pent roof parapet

Decorative terra cotta and brick facade

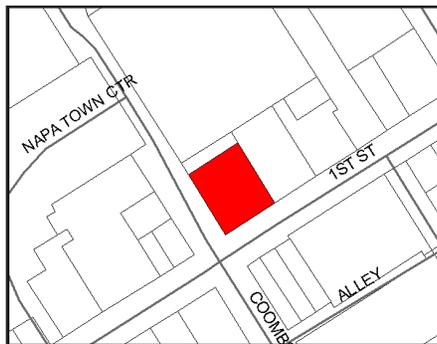
Palladian windows

Multi-light mezzanine windows
with terra cotta details

Remove non-historic metal canopy

Non-historic storefronts separated
by terra cotta pilasters

Decorative tiled base



APN	003166004000
YEAR BUILT	circa 1920
ARCHITECT	C.L. Hunt
STYLE	Renaissance Revival
USE	Commercial (Retail / Office)
CHRSC	IS, 5S1
NOTES	Originally housed Empire Theatre in rear (north) half

Retain

- All original building elements, including terra cotta details, Palladian windows at the second floor, multi-light sash mezzanine windows, and tiled pent roof parapet.
- Decorative second-floor entrance with “Gordon Building” signage at 1130 First Street
- Corner location, with First Street and Coombs Street facades visible

Consider

- Historically accurate replacement of non-historic storefronts on ground floor.
- Restore second floor windows on rear half (former Empire Theatre)
- Removal of non-historic horizontal canopy
- Mezzanine window rehabilitation

Avoid

- Harmful chemical and physical treatments
- Damage to or removal of terra cotta and brick architectural elements

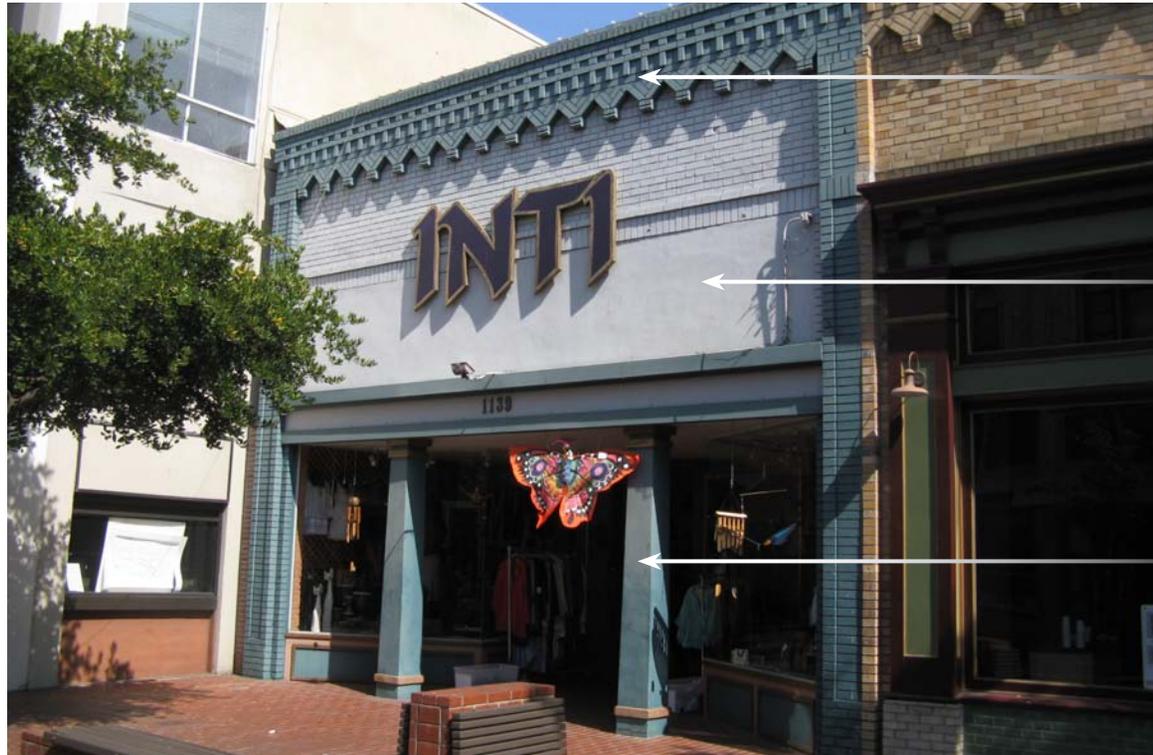
Additions & Adjacent New Construction

- The Gordon Building is eligible for listing in the National Register, and in order to preserve its eligibility for listing, no major changes or additions should occur. This applies along both First and Coombs Streets.
- Rooftop additions or alterations should meet the Standards to preserve the building’s eligibility for listing in the National Register.
- Due to its location adjacent to other National Register-eligible buildings, this building needs to be treated with the utmost care relative to additions and alterations.
- Opportunities for adjacent new development may exist at the rear of the Gordon Building, currently a service alley and non-historic department store. The Gordon Building has a strong street presence, and therefore there are no height limitations relative to historic resources on adjacent new construction, except as otherwise prescribed by the DSP Development Standards.



Rear half of Gordon Building was formerly used as the Empire Theatre. Note simple decoration and alterations to storefronts.

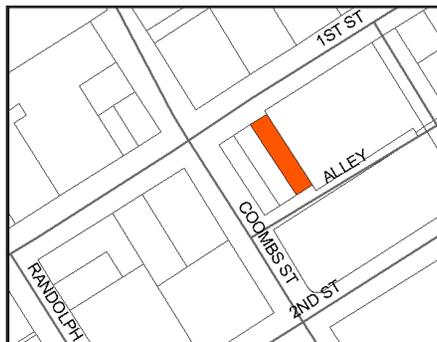
1139 FIRST STREET



Corbelled brick cornice

Re-open transom lights

Replace storefronts with more compatible design that is flush with the facade



APN	003214012000
YEAR BUILT	1920
ARCHITECT	Unknown
STYLE	Twentieth Century Commercial
USE	Commercial (Retail)
CHRSC	553

Retain

- Rectangular massing
- Brick façade
- Decorative corbelled brick cornice

Consider

- Re-opening transom lights
- Replace storefront windows with more compatible/historically accurate design that is flush with the façade
- Consider signage on display windows, a hanging sign, a flat sign between the cornice and transom lights, or a flat sign above the entrance.
- Coordination of treatment with adjacent building (1141 First Street)

Avoid

- Insensitive color, signage, awning treatments
- Multiple or competing forms of signage

Additions & Adjacent New Construction

- The building footprint covers the parcel in its entirety; however, it may be possible to build an addition to the rear of the building.
- New construction (stand alone building) is preferable rather than additions.
- Non-historic buildings at the rear and side present an opportunity for adjacent new construction.
 - New construction should have a height limit of two stories unless otherwise stepped from the subject building.
 - A rooftop addition may be possible on the rear half of the building as long as it is one-story in height and is not visible from the street.



1139 and 1141 First Street are identical; consider coordination of these buildings' treatment.



Rear facade has been altered and does not appear to contain historic fabric.

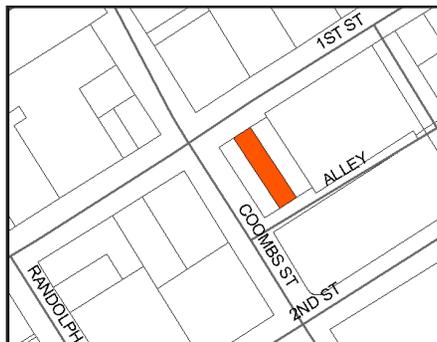
1141 FIRST STREET



Corbelled brick cornice

Glazed transoms

Restored storefronts with wood pilasters,
tile base, and compatible lighting



APN	003214002000
YEAR BUILT	1920
ARCHITECT	Unknown
STYLE	Twentieth Century Commercial
USE	Commercial (Retail)
CHSRC	553

Retain

- Rectangular massing
- Brick façade
- Restored appearance, including compatible storefront windows surmounted by transom lights
- Decorative corbelled brick cornice
- Exposed brick rear facade

Consider

- Consider signage on display windows, a hanging sign, a flat sign between the cornice and transom lights, or a flat sign above the entrance.

Avoid

- Insensitive color, signage, awning treatments
- Multiple or competing forms of signage

Additions & Adjacent New Construction

- Additions are discouraged; the rear façade of the building retains much of its historic fabric.
- New construction (stand alone building) is preferable rather than additions.
- Non-historic buildings at the rear and side present an opportunity for adjacent new construction.
 - New construction should have a height limit of two stories unless otherwise stepped from the subject building.
 - A rooftop addition may be possible on the rear half of the building as long as it is one-story in height and is not visible from the street.



1139 and 1141 First Street are identical; consider coordination of these buildings' treatment.



Exposed brick rear facade

NATIVE SONS OF THE GOLDEN WEST BUILDING

1201-1209 First Street (931-937 Coombs Street)



Decorative cornice

Enframed window wall with brick spandrel panels on First Street and Coombs Street facades

Remove awning and re-open clerestory windows. Awning should not wrap the corner.

Replace storefronts; re-introduce glazed display windows in lieu of corner entry



APN	003211003000
YEAR BUILT	1915
ARCHITECT	Unknown
STYLE	Twentieth Century Commercial
USE	Commercial (Retail/Office)
CHRS	3S, 5S3

Retain

- Rectangular massing
- Brick façade
- Decorative cornice and spandrel panels, pilasters, terra cotta details
- Fenestration pattern
 - Arched window openings (enframed window walls set back between pilasters)
 - Window light configuration
 - Blind windows on the south façade
- Significant features in interior public spaces, if possible (i.e. social hall/lobby)

Consider

- Re-opening clerestory windows
- Replacing storefronts with historically accurate display windows that align with the pilasters above. Storefronts should be flush with plane of building façade.
- Encourage restoration of glazed storefronts in lieu of corner entry
- Replacement of awning with independent awnings to correspond with pilaster bays (storefronts) on each façade. Awning should not wrap the corner.

- New signage and treatment of office entrance on Coombs Street
- Cohesive signage program
- Future changes should be based on historic photographs

Avoid

- Insensitive color, signage, awning treatments
- Multiple or competing forms of signage or storefront design
- In-filling windows or punching new openings in upper stories

Additions & Adjacent New Construction

- A rooftop addition that is significantly set back from both street facades may be possible. Rooftop additions should not exceed one story in height.
- Parking lot at the rear may provide an opportunity for new construction. New construction (stand alone building) is preferable rather than additions. No height limitations for new construction relative to historic resources except as otherwise prescribed by the DSP Development Standards.



Coombs Street facade, showing incompatible awnings, storefront alterations, and office entrance treatment.



Native Sons of Golden West Parlor Hall during construction, 1914. (Kimball and Noel, 77)

NAPA VALLEY REGISTER BUILDING

1202 First Street (1005 Coombs Street)

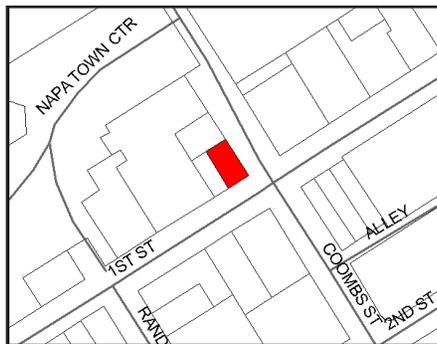


Prominent corner location

Pilasters

Well-placed signage; glazed fanlight may exist underneath

Regular fenestration pattern with sensitive ground-floor awnings



APN	003164005000
YEAR BUILT	1905
ARCHITECT	Unknown
STYLE	Classical Revival
USE	Commercial (Restaurant/Office)
CHRS	IS, 5S1

Retain

- Restored appearance, including prominent corner location, pilasters, and denticulated cornice
- Shape of existing awnings
- As businesses change, retain signage in existing location

Consider

- Exposing arched transom behind existing signage
- Window decal signage

Avoid

- Insensitive color, signage, awning treatments

Additions & Adjacent New Construction

- The Napa Valley Register Building is located on the corner of First and Coombs Streets. Opportunities for future new construction may exist to the west and north of the subject building (immediately adjacent parcels are currently occupied by non-historic buildings).
- Along First Street, height of new construction on adjacent parcel to the west should not exceed height of subject parcel. Should also respect the character of the Merrill's Building (1212-1222 First Street).
- Along Coombs Street Mall, new construction to the north should respect horizontal and vertical rhythms of subject building and not dwarf this important corner building. New construction along Coombs Street Mall to the north of the Napa Valley Register Building should also respect the character of the Merrill's Building (1025-1031 Coombs Street).



Napa Valley Register Building, 1908. (Darms, 17)

MERRILL'S BUILDING

1212-1222 First Street (1025-1031 Coombs Street)

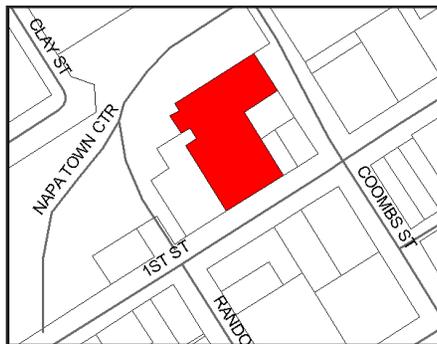


One-story massing with tiled pent roof parapet and brick facade

Steel sash mezzanine windows with terra cotta details

Remove non-historic canopy

Replace storefronts to match historic photographs



APN	003164021000
YEAR BUILT	1929
ARCHITECT	C.L. Hunt
STYLE	Renaissance Revival
USE	Commercial (Retail)
CHRS	3S

Retain

- One-story massing and L-shape on exterior
- All original building elements, including terra cotta details, tiled pent roof parapet, brick facade, and steel sash mezzanine/transom windows

Consider

- Reconstruction of original storefronts or new storefronts and doors that respect the character of the historic building (First Street and Coombs Street facades)
- Removal of non-historic horizontal canopy and installation of compatible awnings (one awning per storefront)
- Replacement of non-historic “Merrill’s” signage and entry on rear (north) facade.
- Mezzanine window repair and rehabilitation

Avoid

- Harmful chemical and physical treatments
- Damage to or removal of terra cotta and brick architectural elements

Additions & Adjacent New Construction

- The Merrill’s Building is eligible for listing in the National Register, and alterations should be minor and should meet the Standards in order to preserve the building’s eligibility for listing in the National Register.
- Due to its location adjacent to other National Register-eligible buildings, this building needs to be treated with the utmost care relative to additions and alterations.
- The one-story massing & L-shape appear to be important to the building’s character, so rooftop additions are discouraged along both First and Coombs Streets. However, if rooftop additions are necessary, they should be substantially set back from the primary facade.
- The Merrill’s Building is located adjacent to several non-historic buildings which may provide opportunities for new development.
 - Along First Street, height of new construction on adjacent parcel to the east should not exceed height of Napa Valley Register Building (1202 First Street).
 - Along Coombs Street Mall, new construction to the south should not dwarf the Merrill’s Building or the Napa Valley Register Building.



East facade on Coombs Street mall. The building’s L-shape is one of its character-defining features, but this portion of the building has been altered with non-historic entrance, canopy, and storefronts.



Historic photograph of Merrill’s Building storefronts, circa 1940s. (Napa County Historical Society)

GOODMAN LIBRARY

1219 First Street



Flat roof with balustrade and cupola

Free-standing building plan

Stone facade

Recessed entry flanked by engaged columns



APN	003211002000
YEAR BUILT	1901
ARCHITECT	Luther Turton (builder J.B. Newman)
STYLE	Romanesque Revival
USE	Civic (Library/Museum)
CHRS	IS, 5S1

Retain

- Free-standing building plan
- Stone façade
- Flat roof with balustrade and cupola
- Recessed entry flanked by engaged columns and capped by large terra cotta voussoirs
- Terra cotta “Goodman” signage
- Arched window openings and existing wood and steel sash windows
- Significant interior features (if any)

Consider

- If changes are to occur, they should be historically accurate
- Retention of signage in existing location (window decals)

Avoid

- Harmful chemical or physical treatments
- Damage or removal of stone architectural elements
- Cutting new openings in any facade

Additions & Adjacent New Construction

- Alterations should be minor, and should meet Standards to preserve its eligibility for listing in the National Register. Rooftop additions are discouraged.
- There is an opportunity for new adjacent construction at the rear of the building where surface parking lots currently exist. For new construction at the rear, there are no height limitations relative to historic resources except as otherwise prescribed by the DSP Development Standards.
- Adjacent new construction should not directly abut the building; library should remain a free-standing building.
- Existing rear addition is not historic and could be replaced if desired. Any new additions should occur at the rear and should be lower than the height of the string-course and contained within the width of the original building footprint.
- Due to its location adjacent to other National Register-eligible buildings, this building needs to be treated with the utmost care relative to additions and alterations.



Existing rear addition is not historic and could be replaced if desired. New construction in this location should not exceed the width of the Goodman Library.



*Goodman Library, circa 1902.
(Napa County Historical Society)*

MIGLIAVACCA BUILDING (1916)

1227-1245 First Street



Parapet with “Migliavacca” signage

Gently clean brick cladding

Replace curved awnings with one simple awning per storefront. Awnings should not wrap the corner.

Storefronts with tiled base and recessed entries



APN	003211001000
YEAR BUILT	1916
ARCHITECT	Unknown
STYLE	Twentieth Century Commercial
USE	Commercial (Retail)
CHRSC	553

Retain

- Horizontal form and low, one-story massing
- Brick cladding
- Corbeled brick parapet with “Migliavacca” signage
- Storefronts
 - Tile base
 - Glazed display windows with recessed entries
 - Transom lights

Consider

- Removing existing awnings and replacing with one awning per storefront
- Sensitively cleaning brick
- Removing plaster above easternmost storefront
- Replacing aluminum frame storefront glazing and doors with more compatible system
- Removal of non-historic concrete block addition at rear
- Cohesive signage program

Avoid

- Harmful chemical and physical treatment of brick
- Multiple or competing forms of signage or storefront design
- Awnings that wrap the corner

Additions & Adjacent New Construction

- Opportunities for adjacent new construction on surface parking lot at rear of building.
- Adjacent concrete block building at 950 Randolph Street has not been evaluated; however, if it is determined that the adjacent building is not historic, construction may also occur on its lot.
- No height restrictions for adjacent new construction except as otherwise prescribed by the DSP Development Standards.
- Rooftop additions are discouraged. However, if an addition is significantly set back or stepped back from the primary façade, it may be possible.



Detail of storefront, with decorative tiled base and non-historic aluminum doors.



Consider removing plaster above easternmost storefront to expose brick facade.



Non-historic rear addition, which could be removed.

1564 FIRST STREET



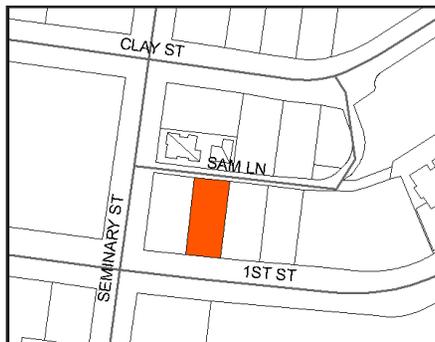
Gable roof with knee braces and vent

Porch with battered columns and shaped openings

Stucco cladding

Existing signage in appropriate location

Deep front setback



APN	003198018000
YEAR BUILT	1915
ARCHITECT	Unknown
STYLE	Craftsman Bungalow
USE	Residential / Commercial Conversion
CHRS	553

Retain

- Craftsman Bungalow style
 - Low one-story massing
 - Gable roof with over-hanging eaves supported by decorative brackets
 - Stucco cladding
 - Multi-light wood sash windows on all facades
 - Simple front porch with shaped openings
- Deep front setback from First Street

Consider

- Retain existing type and placement of signage
- Conversion to residential usage

Avoid

- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located east of a local Landmark-eligible building (5S3 status code) on First Street. Another local Landmark-eligible building (5S3 status code) stands on the northern portion of the block. The surface parking lot to the north and a non-historic building to the east of the subject building may provide opportunities for adjacent new construction.
- Adjacent new construction should not exceed one-and-one-half stories in height immediately adjacent to the subject building, but may be able to step up to two or three stories if designed with sufficient setbacks and compatible details.
- The building retains a high level of integrity and its original fenestration. Additions should not interfere with roofline. Rear one-story additions are recommended; side additions should be slightly lower than the subject building and set back from the primary façade of the building on First Street.



Original fenestration on rear facade should be retained.

1580 FIRST STREET

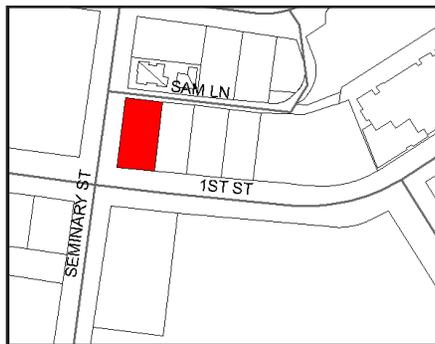


Angled bay window with decorative shingles and stickwork

Simple porch supported by turned wood posts (compatible rehabilitation)

Replace display window with double-hung wood sash windows

Existing free-standing signage is compatible



APN	003198019000
YEAR BUILT	1890
ARCHITECT	Unknown
STYLE	Stick-Eastlake / Queen Anne
USE	Residential / Commercial Conversion
CHRSC	553

Retain

- Restored appearance
- Two-story massing
- Gable roof with over-hanging eaves supported by decorative brackets
- Queen Anne/Stick-Eastlake style
 - Square bay window
 - Simple gable-covered front porches (compatible rehabilitation)
 - Elongated brackets/stickwork
 - Decorative window surrounds
 - Wood cladding
 - One-over-one light, wood sash windows
 - Decorative shingles in gable end
- Landscaped setback from First Street

Consider

- Retain existing type and placement of signage
- Retain existing accessibility ramp at rear
- Replacing first floor display window with double-hung wood sash windows
- Conversion back to residential usage

Avoid

- Removal of original architectural details and ornamentation
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located northeast intersection of First and Seminary Streets. Local Landmark-eligible buildings (5S3 status code) stand on the adjacent lot to the east and on the northern portion of the block. The surface parking lot to the north and a non-historic building to the east may provide opportunities for adjacent new construction.
- Adjacent new construction should not exceed two stories.
- The building retains a high level of integrity and the majority of its original fenestration. Additions should not interfere with roofline. Rear one-story additions are recommended; side additions should be slightly lower than the subject building and set back from the primary façade of the building on First Street.



Additions, even to the rear facade, are generally discouraged. The surface parking lot may provide an opportunity for adjacent new construction.

1607 FIRST STREET

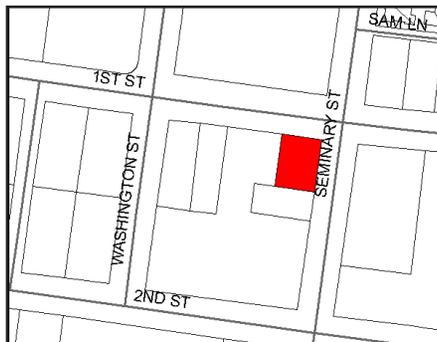


Gabled dormers with knee braces

Multi-light wood sash windows

Front porch with stone columns

Surface parking lot may provide opportunity for adjacent new construction



APN	003196005000
YEAR BUILT	1903
ARCHITECT	Unknown
STYLE	Craftsman
USE	Residential
CHRSC	553

Retain

- Two and one-half story over raised basement massing
- Gable roof with over-hanging eaves with exposed rafter ends
- Craftsman style
 - Gabled dormers with knee braces
 - Simple front porch supported by stone columns
 - Wood siding and stucco cladding
 - Multi-light wood sash windows
- Attached garage
- Low concrete retaining site wall

Consider

- If converted to commercial use, consider a free-standing sign with a low profile or door or window signage

Avoid

- Removal of original architectural details and ornamentation
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located on the southwest corner of the intersection of Seminary and First Streets. Two local Landmark-eligible buildings (5S3 status code) stand on the western portion of the block. The non-historic building to the south and the surface parking lot to the west of the subject building may provide opportunities for adjacent new construction.
- Adjacent new construction should be three or fewer stories.
- Additions should not interfere with roofline. Rear one-story additions are recommended; however, an addition could be located on the west if it is two stories or less and set back significantly from the primary façade of the building on First Street.
- The open space between the subject building and Seminary Street should be maintained.



Rear (south) and Seminary Street (east) facades should be maintained.

1635 FIRST STREET

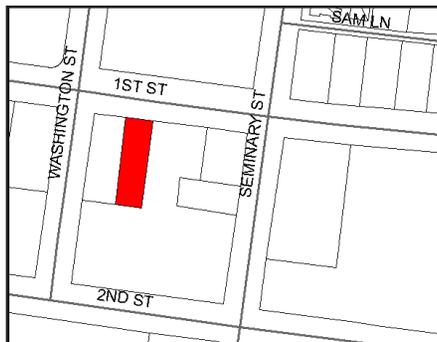


Cross-gabled roof with shallow overhanging eaves

Consider replacing existing hanging signs with door or window signage

Surface parking lot may provide opportunity for adjacent new construction

Low concrete site wall



APN	003196002000
YEAR BUILT	1905
ARCHITECT	Unknown
STYLE	Shingle
USE	Residential / Commercial Conversion
CHRS	553

Retain

- One-and-one-half story over raised basement massing
- Complex cross-gable roof with shallow overhanging eaves
- Shingle style
 - Simple front porch supported by columns
 - Wood shingle and shiplap cladding
 - One-over-one light, wood sash windows
- Low concrete site wall

Consider

- If commercial use is retained, consider free-standing sign with a low profile or door or window signage instead of hanging signs

Avoid

- Addition of architectural details that create a false sense of historical development
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located west of a local Landmark-eligible building (5S3 status code) on First Street. The non-historic building to the south of the building and the surface parking lot to the east of the subject buildings may provide opportunities for adjacent new construction.
- Adjacent new construction should be three or fewer stories.
- Additions should not interfere with roofline. Rear one-story additions are recommended. The open space between the subject building and the building to its west should be maintained.



View of angled bay windows on west facade.

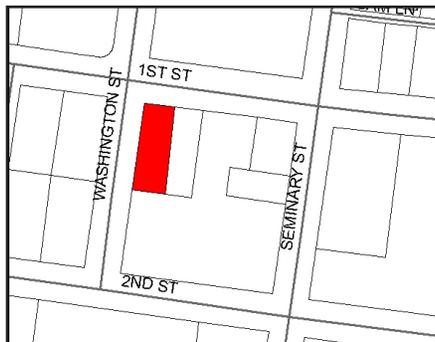
1645 FIRST STREET



One-and-one-half story massing with pyramidal roof

Wood shingle and shiplap cladding

Front porch supported by columns wraps rounded corner



APN	003196001000
YEAR BUILT	1905
ARCHITECT	Unknown
STYLE	Classical Revival
USE	Residential
CHRS	553

Retain

- One-and-one-half story massing
- Classical Revival style
 - Pyramidal roof with shallow over-hanging eaves and brackets
 - Front porch supported by columns which wraps rounded corner
 - Wood shingle and shiplap cladding
 - Angled bay windows
 - One-over-one light, wood sash windows
 - Brick chimney with decorative cap
- Setback from First Street

Consider

- Retention of residential use
- If converted to commercial use, low, free-standing signs or simple flat signage adhered to the building

Avoid

- Addition of architectural details that create a false sense of historical development
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located on the southeast corner of the intersection of First and Washington Streets. Another 5S3 status building is located east of the subject building. A non-historic building to the south of subject building may provide an opportunity for adjacent new construction.
- Adjacent new construction should be three or fewer stories.
- Additions should not interfere with roofline. Rear one-story additions are recommended, and should be set back from the southwest corner of the building. The open space between the subject building and the building to its east should be maintained.



Washington Street facade with angled bay window.

NOYES MANSION

1750 First Street (1775 Clay Street)



Consider retaining palm trees, which date to original construction of house

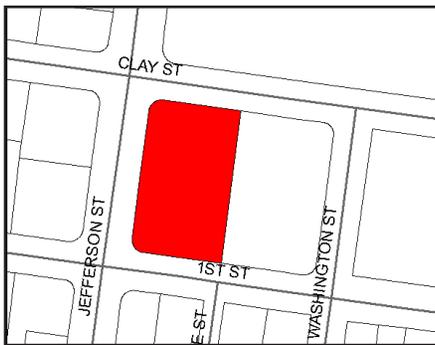
Hipped roof with widow's walk

Rounded central bay

Solarium

Prominent porte-cochere with turned wood balustrade

Large landscaped setback



APN	003192005000
YEAR BUILT	1902
ARCHITECT	Luther Turton
STYLE	Classical Revival / Shingle
USE	Residential / Commercial Conversion
CHRSC	IS, 5S1
NOTES	Located within potential First & Jefferson Streets Historic District

Retain

- Restored appearance, including:
 - Rectangular footprint
 - Two-and-one-half story massing
 - Hipped roof with widow's walk
 - Rounded central bay
 - Wood shingle siding
 - Wood windows (double hung and art glass)
 - Porte cochere
 - Solarium on second floor
- Location on large landscaped lot (palm trees date to original construction of house)
- Carriage House (1775 Clay Street), which matches house in style and detail

Consider

- Reduction of surface parking at rear; historically compatible landscaping
- Re-introducing residential use
- If commercial use is retained, consider retention of signage in existing locations

Avoid

- Removal of original architectural details
- Changes to spatial relationship between Noyes Mansion and Carriage House

- Alterations to landscape
- Insensitive color, awning, or signage treatments

Additions & Adjacent New Construction

- The Noyes Mansion is listed on the National Register, and all facades are significant. The building is also located within the potential First & Jefferson Streets National Register Historic District. Therefore, additions should be avoided to preserve its eligibility. The building retains a high level of integrity and should be treated with the utmost care.
- The subject building is located between surface parking lots to the east and north, which represent opportunity sites for new construction.
 - New construction on the subject parcel should not be located between the subject building and associated carriage house.
- New construction should defer to the Noyes Mansion in height, massing, and architectural detail.
- Adjacent new construction should not exceed the height of the subject building; ideally, new construction would be one-story in height so as not to overwhelm or obscure the associated carriage house.



Porte-cochere, one of the Noyes Mansion's most notable features.



Associated carriage house contributes to significance of the property, and should be retained



Surface parking lot may represent an opportunity for new construction, but spatial relationship between Noyes Mansion and carriage house should be preserved.

KATCHER HOUSE / BLACKBIRD INN

1755 First Street



Gable roof supported by knee braces
with prominent brick chimney

Multi-light wood frame windows

Front porch with battered columns
and river stone base

Maintain front setback



APN	003193007000
YEAR BUILT	1915
ARCHITECT	Unknown
STYLE	Craftsman
USE	Residential / Commercial Conversion (Bed-and-Breakfast)
CHRSC	3S, 5S3
NOTES	Located within potential First & Jefferson Streets Historic District

Retain

- Restored appearance
- Two-story massing
- Craftsman style details
 - Exposed rafter tails
 - Simple front porch supported by battered columns on river stone bases
 - Wood shingle cladding
 - Multi-light windows
 - Partially glazed entry door
 - Side gable roof supported by brackets
 - Exterior end, brick chimneys which feature decorative brick detailing

Consider

- Simpler window awnings (e.g. single dark color; supported by brackets)
- Retaining existing type and placement of commercial signage

Avoid

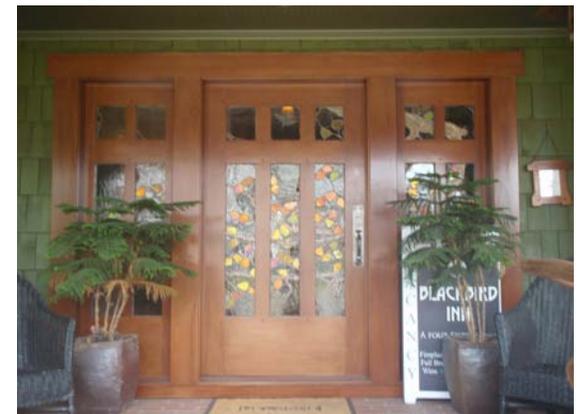
- Addition of architectural details that create a false sense of historical development
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- Opportunities for new construction may exist on the surface parking lot located south of the subject building and the non-historic building (6Z status code) to the east.
- Additions should not interfere with roofline. Rear one-story additions are recommended although a one-story addition to the east of the building is possible so long as it is set back from the primary façade of the building on First Street.
- Maintain the existing open space between the subject building and Jefferson Street to the west.
- Adjacent development to the east should be two or fewer stories; the height should not exceed that of the subject building.
- Due to its location within the potential First & Jefferson Streets National Register Historic District, alterations and additions to the Katcher House should be treated carefully.



Historic fabric on Jefferson Street facade should be retained.



Detail of original art glass door.

1426 FOURTH STREET



Round chimney

Mediterranean Revival details,
including terra cotta tiled roof and
white stucco cladding

Remove awning frame from shaped
window opening

Integral garage

Deep front setback from Fourth
Street



APN	003206006000
YEAR BUILT	1930
ARCHITECT	Unknown
STYLE	Mediterranean Revival
USE	Residential / Commercial Conversion
CHRS	553

Retain

- One story massing
- Mediterranean Revival architectural style
 - Side gable roof with terra cotta tiles
 - Corner bay window
 - Simple porch supported by posts
 - Stucco cladding
 - Multi-light windows
 - Shaped window opening
 - Recessed arched entry
 - Wood paneled door
 - Round chimney
- Integral garage
- Deep setback from Fourth Street

Consider

- Removing awning frame which covers shaped window opening
- Retaining type and location of commercial signage
- Converting back to residential use

Avoid

- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located near the corner of Fourth and School Streets. A National-Register-eligible property (3S status code) and local Landmark-eligible building (5S3 status code) to the east of the subject building, and the National Register-listed Napa Abajo/Fuller Park Historic District is located across Fourth Street.
- Surface parking lots are adjacent to the subject property on the north and west, and may provide an opportunity for new development. New construction adjacent to the subject building should not exceed two stories.
- If an addition is desired, rear additions are preferred; because of the small scale of the building, side additions are discouraged. Additions at the rear (north) of the building may be one-half story taller than the subject building.

700 FRANKLIN STREET



Queen Anne details, including decorative wood shingles

Corner tower with witch's cap

Decorative beltcourse

Landscaped setback from Franklin and Fourth Streets



APN	003209007000
YEAR BUILT	1895
ARCHITECT	Unknown
STYLE	Queen Anne
USE	Residential / Commercial Conversion
CHRS	553

Retain

- One and one-half story over raised basement massing
- Queen Anne architectural style
 - Hipped roof
 - Corner bay window tower with witch's cap
 - Decorative entrance surround
 - Wood cladding, including decorative shingles
 - One-over-one windows
 - Shaped window opening
 - Decorative beltcourse and cornice
 - Brick chimney with decorative cap
- Landscaped setback from Fourth and Franklin Streets

Consider

- If replacing windows, use wood window sashes
- Retaining type and location of commercial signage
- Conversion back to residential use

Avoid

- Removal of original architectural details and ornamentation

- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject property is located on the northeast corner of the intersection of Franklin and Fourth Streets. Two National Register-eligible resources are located across Franklin Street.
- Non-historic buildings to the north and west of the subject parcel may provide opportunities for adjacent new construction. New construction adjacent to the subject building should not exceed three stories, and should respect the scale, rhythm, and character of the surrounding neighborhood.
- Non-historic buildings in the First United Methodist Church complex across Fourth Street from the subject property may provide an opportunity for new development. For new construction on the south side of Fourth Street, there are no height limitations relative to historic resources except as otherwise prescribed by the DSP Development Standards.

- Rear additions are preferred, and could be located on the surface parking area west of the building; however, a side addition may also be possible.
 - Additions at the rear (west) should be lower than the height of the subject building, and should be set back from the southeast corner of the building.
 - Additions at the side (west) of the building may be one-half story taller than the subject building, and should be set back from the primary building façade on Franklin Street. A side addition should not occupy more than half the west facade.



Fenestration pattern and decorative beltcourse should be retained. An opportunity may exist for a small rear addition on the west facade.

709 FRANKLIN STREET



Italianate style, including octagonal bay window, brackets, and ornament

Consider replacing awnings with simpler, less boxy awnings

Existing signage in appropriate location



APN	003206004000
YEAR BUILT	1880
ARCHITECT	Unknown
STYLE	Italianate
USE	Residential / Commercial Conversion
CHRS	3S

Retain

- Two story massing
- Italianate architectural style
 - Hipped roof with over-hanging eaves supported by shaped brackets
 - Octagonal bay window
 - Simple porch supported by posts
 - Wood cladding
 - One-over-one windows
 - Wood paneled door surmounted by transom light
- Low concrete retaining wall
- Landscaped setback from Franklin and Fourth Streets

Consider

- If replacing windows, use wood sash windows
- Simpler, less boxy awnings (e.g. supported by open brackets)
- Retaining type and location of commercial signage
- Removal of rear addition
- Converting back to residential use

Avoid

- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building
- Punching new openings, especially along the Franklin and Fourth Street facades

Additions & Adjacent New Construction

- The subject building is eligible for listing in the National Register, with another National-Register-eligible property located to the south (The Plunge). The National Register-listed Napa Abajo/Fuller Park Historic District is located across Fourth Street. Because of its significance and proximity to other historic resources, the subject building should therefore be treated with the utmost care.
- Additions are not recommended for National-Register-eligible properties, although a small rear addition may be possible if completed in a sensitive manner. Additions should be lower in height than the subject building, and should not cover more than half the rear facade.
- Alterations should be minor, and should meet the Standards to preserve the building's eligibility for listing in the register.
- The small surface parking lot to the west of the subject building may provide an opportunity for new development. New construction west

of the subject building should not exceed three stories.



Regular fenestration pattern on Fourth Street facade and simple massing with deep setbacks should be maintained.



A small rear addition similar in size to the existing ground floor addition may be acceptable if sensitively designed.

“THE PLUNGE” / COMMUNITY THRIFT

715 Franklin Street



Mission Revival-style shaped parapet

Remove paint from glazing in fanlights

Non-historic addition, set back from primary facade and one story in height

Consider removal of awnings

Recessed entry; remove wrought iron gate



APN	003206003000
YEAR BUILT	1905 (remodeled ca. 1920)
ARCHITECT	Unknown
STYLE	Mission Revival
USE	Commercial (Thrift Store)
CHRS	553

Retain

- Mission-style shaped parapet with three paired vents
- Symmetrical stucco-clad façade
- Recessed entry
- Three-part windows with fanlights

Consider

- Removing paint from glazing in fanlights
- Removing non-historic addition and restoring original fenestration on north façade
- Removing wrought iron entry gate
- Removing awnings, or replacing awnings with simpler slanted awnings supported by brackets located within the window surround
- Removing exterior fire sprinklers and vents on south and west façades
- Retaining existing location of signage
- Introducing accent color to highlight parapet and other architectural details

Avoid

- Incompatible exterior signage and lighting
- Rooftop additions or horizontal additions which exceed the height of the parapet

Additions & Adjacent New Construction

- Adjacent non-historic addition and/or surrounding surface parking could accept sensitive new construction or additions.
- Addition could replace non-historic addition, but should be one story in height and should remain set back from the primary façade
- New construction could be located on surface parking lot adjacent to subject building, and should not exceed three stories in height.



View from Franklin and Third Streets, showing one-story non-historic addition. This could be removed.



Detail of south facade, showing fenestration pattern and non-historic sprinklers.



Historic photograph of "The Plunge," showing original fenestration on north facade, n.d. (Kilgallin, 42)

BICKFORD HOUSE

817 Franklin Street



Distinctive patterned wood frieze

Reconstruct pedimented window hoods
and re-introduce wood shutters

Remove screens to expose
wood sash windows

Remove second-floor addition
from north facade

Consider re-introducing
historic water tower

Retain wrought iron fence and restore
multi-colored stone retaining wall



APN	003205004000
YEAR BUILT	1880
ARCHITECT	Unknown
STYLE	Italianate
USE	Residential
CHRS	3S, 5S3

Retain

- Italianate architectural style
 - Two story massing
 - Low profile roof with over-hanging eaves supported by shaped brackets and distinctive patterned wood frieze
 - Central brick chimney with decorative cap
 - Simple porch supported by posts
 - Wood cladding
 - Wood sash one-over-one windows
 - Partially glazed wood paneled door with transom
- Wrought iron fence on low concrete retaining wall

Consider

- Reconstructing missing pedimented window hoods on primary facade
- Re-installing shutters on north facade
- Cleaning and restoring wrought iron fence (consider coordinating treatment with Sterling House, 833 Franklin Street)
- Removing paint/stucco from retaining wall to expose original multi-colored stone (consider coordinating treatment with Sterling House)
- Removing second-floor side addition
- Removing screens from windows to expose original wood-sash windows

- Reconstructing water tower north of house
- If converted to commercial use, consider free-standing or flat applied signage

Avoid

- Changes to free-standing, landscaped character of property
- Side additions that change the building's massing

Additions & Adjacent New Construction

- The Bickford House is eligible for listing in the National Register, with another National-Register-eligible property located to the north (Robert Sterling House). The Uptown Theatre and Franklin Station U.S. Post Office are located across Franklin Street. Because of its significance and proximity to other historic resources, the subject building should therefore be treated with the utmost care.
- Additions are not recommended for National-Register-eligible properties, although a small rear addition may be possible if completed in a sensitive manner. Additions should be lower in height than the subject building.
- Alterations should be minor, and should meet the Standards to preserve the building's eligibility for listing in the National Register.

- The non-historic buildings (6Z status code) to the south and west of the Bickford House may provide an opportunity for new development.
 - New construction south of the subject building should not exceed two stories.
 - New construction west of the subject property should not exceed three stories.



Bickford House, circa 1890. Note missing window hoods, shutters, water tower, and multi-colored stone site wall. Photo courtesy Robert Northrop. (Weber, 25)

ROBERT STERLING HOUSE

833 Franklin Street

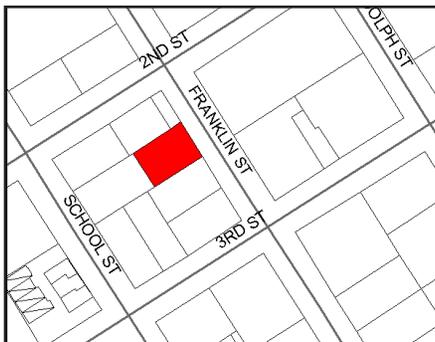


Italianate villa style, including square tower with arched windows, brackets, and decorative window surrounds

Remove air conditioning units from tower and south facade

Simple porch with applied wood ornament

Consider free-standing sign rather than flat applied signage



APN	003205012000
YEAR BUILT	1872
ARCHITECT	Unknown
STYLE	Italianate Villa
USE	Residential / Commercial Conversion
CHRSC	3S

Retain

- Restored appearance
- Italianate Villa architectural style
 - Two story massing with three-story square tower
 - Hipped roof with over-hanging eaves supported by shaped brackets
 - Simple porch with applied wood ornament supported by posts
 - Angled bay window on south facade
 - Wood cladding
 - Decorative window surrounds
 - Wood sash one-over-one windows
 - Partially glazed wood paneled door
- Wrought iron fence on low concrete retaining wall

Consider

- Cleaning and restoring wrought iron fence (consider coordinating treatment with Bickford House, 817 Franklin Street)
- Removing paint/stucco from retaining wall to expose original multi-colored stone (consider coordinating treatment with Bickford House)
- Installing a free-standing sign rather than applied flat signage

- Removing the exterior air conditioning unit from the tower
- Converting back to original residential use

Avoid

- Changes to free-standing, landscaped character of property
- Side additions that change the building's massing

Additions & Adjacent New Construction

- The Robert Sterling House is eligible for listing in the National Register, with another National-Register-eligible property located to the south (Bickford House). The Uptown Theatre and Franklin Station U.S. Post Office are located across Franklin Street. Because of its significance and proximity to other historic resources, the subject building should therefore be treated with the utmost care.
- Additions are not recommended for National-Register-eligible properties, although a small rear addition may be possible if completed in a sensitive manner. Additions should be lower in height than the subject building.
- Alterations should be minor, and should meet the Standards to preserve the building's eligibility for listing in the register.

- The non-historic buildings (6Z status code) to the north and west of the Sterling House may provide an opportunity for new development.
 - New construction north of the subject building should not exceed two stories.
 - New construction west of the subject property should not exceed three stories.



South facade, especially angled bay window, should remain visible from the street.



Consider cleaning and repairing wrought iron fence and low concrete retaining wall. Coordinate treatment with Bickford House.

920-930 FRANKLIN STREET



Shed roof with overhanging eaves

Incorporated lighting in eaves

Large expanses of glazing,
divided by angled fins

Low plantings along tiled base



APN	003207008000
YEAR BUILT	1950
ARCHITECT	Unknown
STYLE	Modern
USE	Commercial (Retail)
CHRSC	553

Retain

- Low horizontal massing
- Shed roof with wide overhanging eaves
- Large expanses of glazing, divided by angled fins
- Glazed entry doors with glazed transoms and shaped surrounds, spaced at regular intervals
- Incorporated lighting in eaves
- Tiled base

Consider

- Retaining existing planters, or introducing low plantings
- Re-opening glazed transoms in two storefronts at west end of the building
- Highlighting the shed roof by introducing a contrasting color to the flashing; the remainder of the building should remain a neutral color.
- Cohesive signage program

Avoid

- Incompatible color, glazing, or signage treatments

- Plantings or landscape that obscures or damages the tile base
- Multiple or competing forms of signage

Additions & Adjacent New Construction

- No rooftop additions or adjacent additions to preserve unusual roofline and horizontality.
- Adjacent new construction in parking lot at rear (east, adjacent to 1310 Second Street) may be acceptable. No height limitations relative to historic resources, except as otherwise prescribed by the DSP Development Standards; could be built out to property line.
- North of subject building: Maintain setback from primary façade to the north property line. No more than one story above subject building immediately adjacent, but could be stepped back to a taller building towards First Street.
- South of subject building: New construction could replace non-historic adjacent building. No height limitations relative to historic resources, except as otherwise prescribed by the DSP Development Standards; could be built out to property line.



Detail of storefronts and planters. Note tiled base, angled fins, and original address decals in glazed transoms. The transoms at the east end (far left) could be re-opened to match the original.

THEODORE BELNAP COTTAGE #2

952 Jefferson Street



Pyramidal roof

Decorative shingles and stickwork

Simple porch supported by turned wood posts

Landscaped setback on Jefferson Street



APN	003193009000
YEAR BUILT	1890
ARCHITECT	Theodore Belnap (Builder)
STYLE	Stick-Eastlake / Queen Anne
USE	Residential / Commercial Conversion
CHRS	553

Retain

- Restored appearance
- One-story over raised foundation massing
- Spatial relationship to identical building at 1790-1792 Second Street
- Pyramidal roof supported by shaped brackets
- Queen Anne/Stick-Eastlake style
 - Square bay window
 - Simple front porch supported by shaped wood posts
 - Elongated brackets/stickwork
 - Decorative window surrounds
 - Wood cladding
 - One-over-one light, wood sash windows
 - Decorative shingles in gable end
- Landscaped setback from Jefferson Street

Consider

- Doors in the primary façade which are more historically accurate
- Retain existing type and placement of commercial signage
- Coordinating treatment with adjacent, identical building at 1790-1792 Second Street

Avoid

- Removal of original architectural details and ornamentation
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- Additions should not interfere with roofline. Rear one-story additions are recommended although one-story additions to the north and south of the building may be possible so long as they are set back from the primary façade of the building on Jefferson Street.
- Surface parking lots to the north, east and south of the subject building may provide opportunities for adjacent new construction. The Katcher House stands to the north and an identical house, 1790-1792 Second Street stands to the south.
- Adjacent new construction should be two or fewer stories, and should preserve the spatial relationship between the subject building and 1790-1792 Second Street.

HATT BUILDING & MILL COMPLEX

500 - 550 Main Street

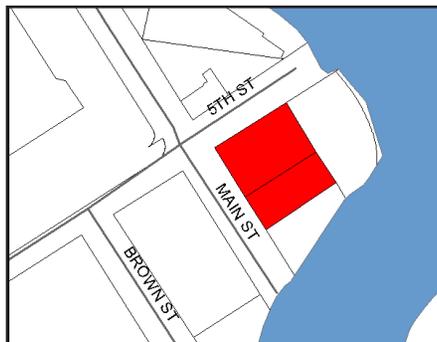


Two-story massing with brick cladding and stepped parapet

Flat canopy

Avoid further additions to the building

Adjacent new construction could occur on a portion of the surface parking lot if it was sufficiently set back from the primary facade



APN	003277002000 / 003277003000
YEAR BUILT	1884 / 1886
ARCHITECT	Unknown
STYLE	Nineteenth Century Commercial
USE	Industrial / Commercial Conversion
CHRSC	IS, 5S1

Retain

- Restored appearance, including:
 - Two story massing
 - Flat roof with shaped parapet
 - Brick masonry construction and cladding
 - Partially glazed, wood, double door surmounted by glazed transom
 - Wood frame, six-over-six windows
 - Flat canopy
- Relationship to Napa River

Consider

- Retaining type and location of existing signage
- If future changes are to occur, changes should be historically accurate

Avoid

- Addition of architectural details that compete with the simplicity of the historic design
- Further additions to building and/or denser new construction on the property

Additions & Adjacent New Construction

- The Hatt Complex is located on the southeast corner of the intersection of Main and Fifth Streets. Non-historic buildings are located to the east and south of the subject property.
 - The subject property is part of a large, two-story complex and has a strong street presence. Therefore, for adjacent new construction there are no height limitations relative to historic resources except as otherwise prescribed by the DSP Development Standards.
 - New construction could occur on a portion of the property's surface parking lot as long as it is set back from the primary facade by approximately the width of Main Street
- The subject property is a Napa Landmark and is listed on the National Register of Historic Places; therefore, the building should be treated with the utmost care. Additions are not recommended, although existing modern additions to the property could be replaced within the same footprint and building envelope which do not exceed the height of the stepped parapet on the primary facade.



Hatt Building & Mill Complex, circa 1975. (Kilgallin, 9)



Modern addition at the rear of the property is compatible with the scale, materials, and character of the complex.

FAGIANI BUILDING

813 Main Street

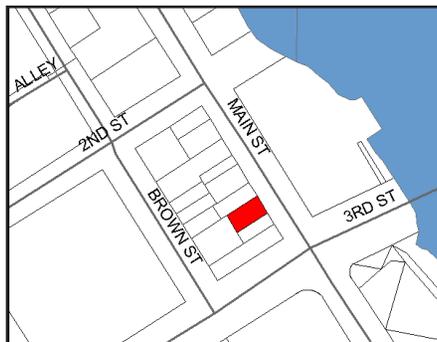


Renaissance Revival style second floor with decorative stone cladding, cornice, and tripartite windows

Adjacent non-historic buildings may provide an opportunity for new development

Remove vents

Art Moderne style ground floor



APN	003222008000
YEAR BUILT	1908 / 1945
ARCHITECT	William Corlett
STYLE	Renaissance Revival / Art Moderne
USE	Commercial (Vacant)
CHRSC	3S

Retain

- Two story massing
- Renaissance Revival & Art Moderne styles
 - Parapet roof with architectural detailing
 - Tripartite arched window openings
 - Stone cladding of second story
 - Tiled cladding of first story

Consider

- Restoration of building based on historic photographs
- Removal of vents above the entrance
- Signage that correlates to or respects architectural detailing

Avoid

- Additional architectural decoration that competes with the historic design
- Harmful chemical and physical treatments
- Damage to or removal of stone or tile

Additions & Adjacent New Construction

- The Fagiani Building appears eligible for listing in the National Register and as a local Landmark Property. A National-Register-eligible property is located to the rear (west) of the subject property.
- Although the subject property is National-Register-eligible, the building requires significant reconstruction. In this case, a roof-top addition that is located on the western half of the building and is no more than one-story in height may be acceptable. A roof-top or side addition would need to be sufficiently set back from the primary façade on Main Street.
- Alterations and additions should meet the Standards to preserve the building's eligibility for listing in the National Register.
- The Fagiani Building is located between several non-historic buildings (6Z status code) on the north and south, which may provide opportunities for new development. Adjacent new construction should not exceed three stories in height.
- Veteran's Park is located across Main Street from the subject property. The park is designated public open space, and is therefore not available for development.



Fagiani Building, circa 1910, showing original storefront design.



Fagiani Building, circa 1975, showing Art Moderne storefront and neon blade sign.

BANK OF NAPA / WELLS FARGO
901 Main Street (900 Brown Street)



Surface parking lot may provide an opportunity for adjacent new construction

Beaux Arts detailing (1923), including paired engaged Tuscan columns and tripartite composition

Art Deco addition (1934)



APN	003221012000
YEAR BUILT	1923 / 1934
ARCHITECT	Unknown
STYLE	Beaux Arts / Art Deco
USE	Commercial (Bank)
CHRSC	IS, 5S1

Retain

- Restored appearance
- Beaux Arts (1923) and Art Deco (1934) architectural detailing
 - Paired engaged Tuscan columns
 - Tripartite composition
 - Full-height windows
 - Plaster ornament with stylized floral motifs
- Three significant facades: Brown Street (pedestrian mall), Main Street, and Second Street

Consider

- Introducing glazing/display windows on Second Street façade between pilasters of Art Deco addition
- Retention of signage in existing location
- If changes are to occur, they should be historically accurate

Avoid

- Harmful chemical or physical treatments
- Damage or removal of architectural details
- Cutting new openings in significant facades

Additions & Adjacent New Construction

- The Bank of Napa is listed in the National Register, and in order to preserve its eligibility for listing, no major changes or additions should occur. This applies along all significant facades. Rooftop or other additions are discouraged.
- Alterations should be minor, and should meet the Standards to preserve the building's eligibility for listing in the National Register.
- Opportunities for adjacent new construction exist on the surface parking adjacent to the subject building or in lieu of the existing structured parking across the street from the subject building. On these sites, there is no height limitation for new construction relative to historic resources.
- Use care where adjacent new construction abuts the north facade of the subject building. Consider a setback from the corner of the Bank of Napa building.



Art Deco addition (1934) on Brown Street. Consider re-opening display windows at right of photo.



Historic view of Main Street with Bank of Napa in the foreground, circa 1930. (Coodley 99)

OBERON BUILDING

902-912 Main Street



Art Deco style, including tile cladding and details

Awning should not wrap the corner

Retain tile base and restored storefronts



APN	003231008000
YEAR BUILT	1933
ARCHITECT	Unknown
STYLE	Art Deco
USE	Commercial (Restaurant)
CHRSC	5S1

Retain

- Restored appearance
- Art Deco architectural style
 - One-story massing with parapet roof
 - Tile cladding
 - Stylized floral motifs
 - Wood frame storefronts

Consider

- Retain type and location of signage
- One awning per bay so that the bays of the building remain visible. Awning should not wrap the corner.
- Patio umbrellas with a subtler form that does not compete with the building
- A patio enclosure that is less solid: e.g. metal railing, etc.

Avoid

- Additional architectural decoration that competes with the historic design
- Damage to or removal of tile
- Incompatible color, signage, and awning treatments

- Competing or multiple forms of signage or storefront design
- Rooftop additions

Additions & Adjacent New Construction

- The subject property is located north of the intersection of Second and Main Streets, between Main Street and the Napa River. The Veterans Memorial Park is located to the south of the subject property.
- The subject property is a Napa Landmark. It is recommended that additions to the building occur at the rear (east) and not exceed two stories in height. If a side addition is made to the building, it should extend from the unfinished, north building façade rather than the south façade, which was originally one of the building's two primary facades. A side addition should be set back from the primary façade on Main Street and should be lower than the height of the subject property.
- A surface parking lot to the north may provide an opportunity for adjacent new construction. Although the subject property is one-story in height, it has the appearance of a two-story building because of the height of the roof parapet and placement of the awnings above the storefronts of the building. Therefore, adjacent new construction may be two to three stories in height immediately adjacent to the Oberon Building, but could step up to four stories at

the northwest corner. New construction in the surface parking lot to the north of the Oberon Building should also respect the character of the Winship Building (942-948 Main Street).



Oberon Building, circa 1975. Note awnings between pilasters, but incompatible storefronts and transoms. (Kilgallin, 10).

WINSHIP BUILDING

942-948 Main Street



Retain reconstructed corner tower with witch's cap

Retain restored appearance, including fenestration pattern and materials

Adjacent surface parking lot may provide opportunity for new construction

Consider re-opening display windows on First Street facade



APN	003231001000
YEAR BUILT	1888
ARCHITECT	Luther Turton
STYLE	Italianate
USE	Commercial (Retail / Office)
CHRSC	IS, 5S1

Retain

- Restored appearance, including reconstructed corner tower, fenestration pattern, architectural details, and historically compatible storefronts

Consider

- Re-opening display windows on First Street facade
- If changes are to occur, future changes should be historically accurate
- Cohesive signage program

Avoid

- Incompatible color, signage, and awning treatments
- Competing or multiple forms of signage

Additions & Adjacent New Construction

- The Winship Building is located on the southeast corner of the intersection of First and Main Streets. It is listed on the National Register of Historic Places and is adjacent to the National Register-listed Semorile Building, and should therefore be treated with the utmost care. Additions to the building are discouraged.
- Alterations should be minor, and should meet the Standards to preserve the building's eligibility for listing in the National Register.
- The surface parking lot to the south of the Winship Building may provide an opportunity for development. Because the building has a strong street presence, it is possible for adjacent new construction to be four stories in height; however, the total massing of the new construction (width and depth) should not overwhelm the subject building. New construction in the surface parking lot to the south should also respect the character of the Oberon Building (902-912 Main Street), and should step down to two to three stories at the southern edge.
- For new construction across First Street or Main Street from the subject property, there are no height limitations relative to historic resources except as otherwise prescribed by the DSP Development Standards.



Restored storefronts are compatible with historic character.



Main Street, with Winship Building visible just left of center, 1908. (Darms, 20)

NAPA VALLEY OPERA HOUSE

1030 Main Street

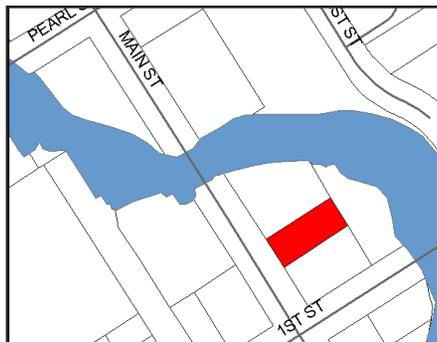


Bracketed cornice with pediment

Tripartite windows with multi-light wood sash windows

Ten structural bays divided by Corinthian pilasters

End bays could be reopened



APN	003172003000
YEAR BUILT	1879
ARCHITECT	Ira Gilchrist/Newsom Brothers
STYLE	Italianate
USE	Opera House
CHRSC	IS, 5SI

Retain

- Restored appearance, including architectural details, materials, and fenestration pattern

Consider

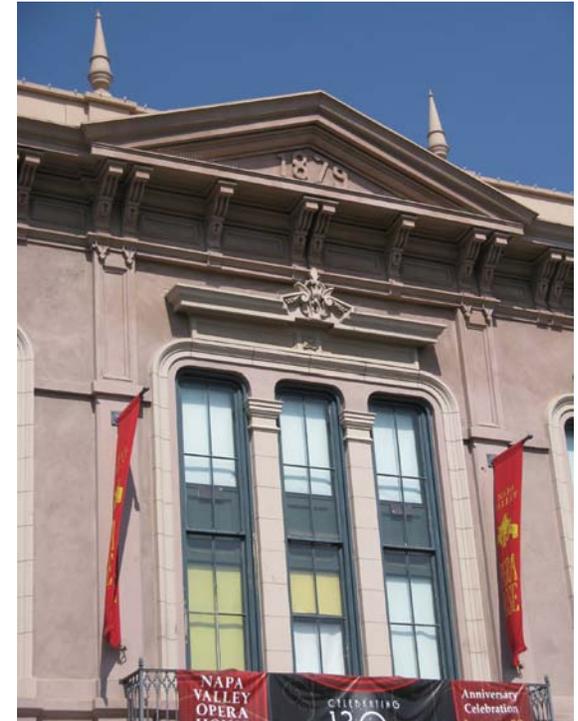
- Opening end bays of ground floor
- If changes are to occur, future changes should be historically accurate

Avoid

- Insensitive color, signage, awning treatments

Additions & Adjacent New Construction

- The site of the adjacent non-historic building south of Opera House may provide an opportunity for future new construction.
- Height of adjacent new construction should not exceed more than one floor above the subject building.
- The Opera House has a strong street presence; no height restrictions for new development on the surface parking lot across Main Street, except as otherwise prescribed by the DSP Development Standards.



Detail showing restored bracketed cornice, pediment, and tripartite windows with balcony. Note banner signage, which is sensitive to the historic character of the Opera House.

MATHIS-FLANAGAN BUILDING

1038-1040 Main Street



Replicate missing cornice based on historic photographs to restore eligibility for listing in National Register

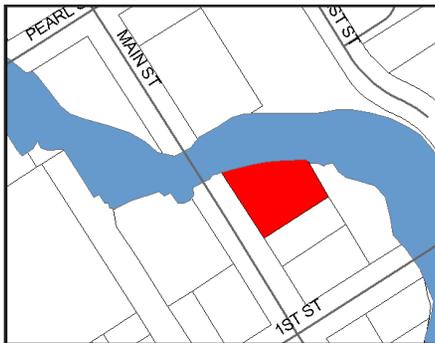
Faux stone cement block cladding

Reconstruct missing second floor balconies based on historic photos

Remove non-historic entry marquee (completed in 2010)

Remove stucco and re-open transoms on non-historic storefronts

Cast iron pilasters



APN	003172007000
YEAR BUILT	1907
ARCHITECT	Luther Turton
STYLE	Classical Revival
USE	Commercial (Retail/Office)
CHRSC	5S3, 7N1

Retain

- Original architectural features, including faux stone cement block cladding, window hoods, and cast iron pilasters on ground floor
- Three-story massing and overall form
- Stone retaining wall at Napa Creek
- Visual connection to creek

Consider

- Reconstruction of cornice and second-floor balconies based on historic photographs. This would restore the building's integrity to the level necessary to qualify for National Register listing.
- Replacement of storefronts (re-opening transoms and removing plaster)
- Removal of marquee and recessed main entry (completed in 2010)
- Replacement of non-historic windows with historically compatible undivided double-hung wood sash windows (match historic photo, right)
- Retention of existing awnings (simple design, one awning per opening)
- Re-opening of fenestration on rear façade
- Removal of second-floor solarium on rear and side façades
- Cohesive signage program

Avoid

- Insensitive color, signage, awning treatments
- Multiple or competing signage treatments

Additions & Adjacent New Construction

- A more compatible rear addition could replace existing non-historic wood-framed second floor rear addition, or could be constructed in open space behind building.
 - Materials should be differentiated from historic building; light, transparent character is recommended.
 - Should not cover entire rear façade, or interrupt visual connection to creek.
 - Could connect to historic building through existing fenestration to the degree possible.
- Rooftop addition should be set back considerably from front façade, and should preserve the stepped parapet wall at the rear. One-story maximum (height should be minimized).
- Rooftop additions, rear additions, and other alterations should meet Standards to preserve its eligibility for listing in the National Register.
- Due to its already-compromised integrity, this building needs to be treated with the utmost care relative to additions and alterations.
- No apparent opportunities for adjacent new construction. No height restrictions for new development across Main Street except as otherwise prescribed by the DSP Development Standards.



Rear facade. Note solarium at right; blind windows; non-historic rear addition; stepped parapet; and relationship to Napa Creek.



Flanagan Building/Cecille Hotel, 1908. Note cornice, balconies, and storefronts. (Darms, 81)



Mathis-Flanagan Building, 1975. (Page & Turnbull)

KYSER-WILLIAMS BLOCK

1122-1142 Main Street



False parapet

Appropriate signage & lighting
location

Exposed stone masonry construction

Restored storefronts



APN	003172011000
YEAR BUILT	1886
ARCHITECT	Wright & Saunders
STYLE	19th Century Commercial
USE	Commercial (Retail/Restaurant)
CHRS	3S

Retain

- Stone masonry construction and one-story massing
- Restored appearance of front and rear façade, including exposed stone facades, compatible storefronts with glazed transoms, and compatible signage and lighting
- Setback from Napa Creek on south

Consider

- If changes are to occur, future changes should be historically accurate
- Cohesive signage program among all storefronts

Avoid

- Insensitive color, signage, awning treatments
- Harmful chemical or physical treatments
- Damage to stone facades
- New openings in south façade

Additions & Adjacent New Construction

- Rooftop additions are not recommended, as the one-story massing is a character-defining feature of the building. Rear additions are not recommended, as the rear façade exhibits unique form and materials.
- Non-historic building north of Kyser-Williams Block and parking lot at rear provide opportunities for adjacent new construction.
- Adjacent new construction at the north (along Main Street, currently occupied by a small non-historic building) should not exceed more than one floor above the Kyser-Williams Block.
- Adjacent new construction on the parking lot behind the building should not exceed three stories immediately adjacent to the Kyser-Williams Block, although with appropriate setbacks and massing, the West Street frontage could be up to four stories. Rear setback from parking lot should be retained, and new construction should not abut the rear façade.
- Alterations should meet Standards to preserve its eligibility for listing in the National Register.



Rear facade of Kyser-Williams Block with unique gabled roof form, exposed stone masonry construction, and rear garden.

NAPA FIREFIGHTER'S MUSEUM 1201 Main Street



Stepped parapet with scored concrete detailing

Restore original bay height (remove stucco infill) and install new awnings at this level

Modify base to relate to storefronts & pilasters

Re-open Pearl Street bay for display or access



APN	003137005000
YEAR BUILT	1935
ARCHITECT	Unknown
STYLE	Art Moderne
USE	Museum
CHRSC	5S3

Retain

- Stepped parapet
- Deeply scored detailing on parapet and pilasters
- Scored stucco cladding
- Recessed entry
- Clear bay definition

Consider

- Restoration of original bay height (remove stucco infill above awnings)
- Installation of new awnings at higher level
- Modify base to relate more appropriately to pilasters and storefront
- More compatible entry door
- Re-opening Pearl Street bays for display or access

Avoid

- Avoid covering pilasters with awnings
- Avoid signs that encroach on architectural details

Additions & Adjacent New Construction

- The subject building is isolated and could benefit from adjacent new development. Surrounding surface parking lot provides an opportunity for new construction to the north and west of the subject building.
- Adjacent new construction should respect the rhythm of the bays
- Height of adjacent new construction on the surface parking lot to the north could be two to four stories, depending on massing. New construction at this location should also respect the character of the Sam Kee Laundry Building (1245 Main Street).
- Rooftop additions are not recommended

LAZARUS BUILDING

1202-1214 Main Street (964-980 Pearl Street)



One-story massing; full block coverage

Scalloped detail on parapet

Prominent curved corner with glass blocks

Storefronts with punched display window openings, glazed transoms, awnings, and terra cotta tiles



APN	003143009000
YEAR BUILT	1936
ARCHITECT	Unknown
STYLE	Art Moderne
USE	Commercial (Retail)
CHRSC	553

Retain

- Building form & significant detailing, including glass blocks, scalloped detail on parapet, curved corner, and punched window openings with glazed transoms
- Original entry & fenestration rhythm
- Terra cotta tiles surrounding storefronts

Consider

- Sensitive display window changes
- Consistent treatment across entire building: present a unified, coordinated aesthetic among all businesses
- Cohesive signage program
 - Encourage signage on canopies and display windows
 - Signage consistent with simple, streamlined architecture
- Introducing pale colors to highlight building's character; should be respectful of Art Moderne style
- Retention of angled awnings over display windows; replace curved awnings over pedestrian entries
- Installation of rooftop HVAC unit less visible from the street

Avoid

- New display window openings that are incompatible with the overall unified appearance of the building
- Competition of design among storefronts

Additions & Adjacent New Construction

- The one-story Lazarus Building takes up an entire block, and it may be difficult to add additional floors in a sensitive way. Because the existing building is built all the way to the property line on all sides, a ground level addition is not likely to be feasible. If additional floors are desired, rooftop additions should be significantly stepped back from the façade and incorporate contemporary architectural elements consistent with the Streamline Moderne style in form, materials & detailing, yet still differentiated from the historic fabric.
- Adjacent Lazarus Apartments (1216-1246 Main Street) has not been evaluated; if it is determined not to be a historic resource, that site may provide an opportunity for adjacent new construction.
- New construction to the north of the subject building should not exceed four stories, and should have setbacks and massing such that it does not dwarf the corner of the subject building (Pearl and Main streets).



Pearl Street facade, showing display window rhythm, transoms, and terracotta tiles.

SAM KEE LAUNDRY / PFEIFFER BUILDING

1245 Main Street



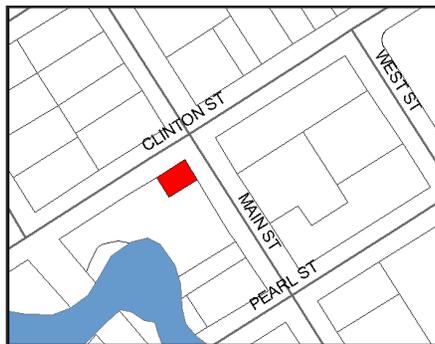
False parapet with bracketed cornice

Regular fenestration pattern with
stone lintels and sills

Stone rubble masonry construction
on east and west facades

Non-historic rear addition

Cut stone block masonry construction
on primary facade



APN	003137003000
YEAR BUILT	1875
ARCHITECT	Unknown
STYLE	Italianate
USE	Commercial (Retail)
CHRS	IS,5S1

Retain

- Masonry construction (cut stone blocks on primary façade, exposed rubble on side facades)
- Two-story massing
- False parapet with bracketed cornice
- Stone lintels and sills
- Plaque

Consider

- If windows and doors are to be replaced, Future changes should be historically accurate
- Retention of existing awnings (one awning per opening)
- Future signage should be installed in existing locations

Avoid

- Insensitive color, signage, awning treatments
- Damage or removal of historic fabric
- Harmful chemical or physical treatments to the stone

Additions & Adjacent New Construction

- The Sam Kee Laundry is isolated and could benefit from sensitive new construction. Surrounding surface parking lot provides an opportunity for new development.
- The Sam Kee Laundry Building is eligible for listing in the National Register, and in order to preserve its eligibility for listing, no major changes or additions should occur. The two-story massing is important, so rooftop additions are discouraged.
- New construction on the surface parking lot to the south should be set back from the Sam Kee Laundry Building so rubble masonry façade can be clearly viewed from the street.
- Height of adjacent new construction on the surface parking lot to the south could be two to four stories, depending on massing. New construction at this location should also respect the character of the Napa Firefighter's Museum (1201 Main Street).
- Rear addition could replace existing non-historic rear build-out. Addition should not exceed height of historic portion of building.
- If additions or alterations are necessary, they should meet the Standards to preserve the building's eligibility for listing in the National Register.



Non-historic rear addition is simply designed and compatible in scale with historic Sam Kee Laundry Building.

1461 POLK STREET

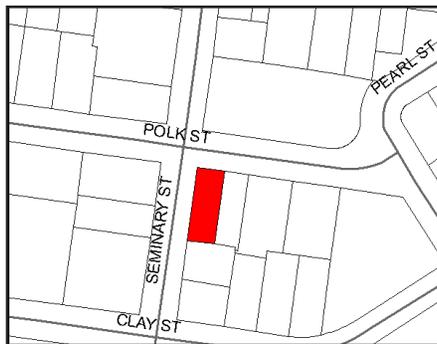


Bracketed cornice

Replace porch and columns with more compatible porch

Angled bay window with two-over-two wood sash windows

Front and side setbacks



APN	003197001000
YEAR BUILT	1880
ARCHITECT	Unknown
STYLE	Italianate
USE	Residential
CHRSC	553

Retain

- Original appearance
- One-story massing
- Parapet roof with over-hanging eaves supported by decorative brackets
- Wood cladding
- Two-over-two wood sash windows

Consider

- Restoring the porch to its historic appearance
- If converted to commercial use, use a free-standing sign with a low profile or door or window signage

Avoid

- Addition of architectural details that create a false sense of historical development
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located on the southeast corner of the intersection of Seminary and Polk Streets. A couple of non-historic buildings (6Z status code) stand on the southern portion of the block. A narrow vacant lot and a large surface parking lot to the east and the non-historic building to the south of the subject building may provide opportunities for adjacent new construction.
- Development on the large parking lot at the east end of the block could be up to three stories along the Polk Street frontage; four stories may be allowed on the interior of the development if the height is integrated within a stepped massing, and a monolithic bulk is avoided. On the narrow vacant lot immediately east of the subject building, adjacent new construction should not exceed two stories so as not to overwhelm the subject building; construction on this narrow lot could be an independent structure, or it could step down from a larger building to form the west end of a full-block development.
- Adjacent new construction south of the subject building should not exceed two stories to protect the low scale of the subject building.

- Additions should not interfere with roofline. Rear one-story additions are recommended; however, an addition could be located on the east if it is slightly lower than the subject building and is set back from the primary façade of the building on Polk Street. Rooftop additions are not recommended due to the building's simple form.
- The open space between the subject building and Seminary Street should be maintained.



Rear facade and ivy-covered garage.

CHRISTIAN SCIENCE CHURCH

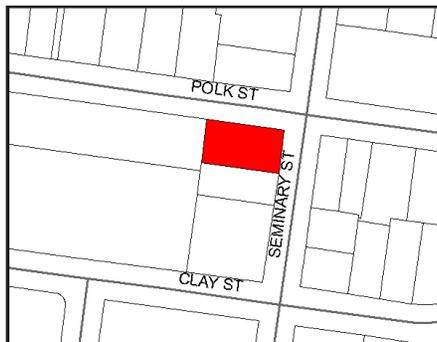
1525-1527 Polk Street



Gable roof with rosette

Arched windows

Classical Revival details, including
pilasters and fanlights



APN	003191002000
YEAR BUILT	1915
ARCHITECT	Unknown
STYLE	Classical Revival
USE	Religious / Commercial Conversion
CHRSC	553

Retain

- T-shaped plan
- One and one-half story massing
- Gable roof
- Stucco cladding
- Windows with arched openings
- Classical Revival style, including pilasters and fanlights
- Mature trees

Consider

- Replacement of front doors with more historically compatible design
- If windows are to be replaced, use wood
- Re-introducing original use
- If commercial use is retained, signage could be flat board or low freestanding sign
- Removal of addition east of the building

Avoid

- Removal of original architectural details
- Additions that overpower the building

Additions & Adjacent New Construction

- Additions should not interfere with roofline. A one-story addition may be acceptable in the footprint of the existing addition which extends from the building's east façade.
- The existing space between the subject building and the historic residence to its south should be preserved.
- There is an opportunity for new construction on the surface parking lot located east of the building. New construction should not exceed one story above the subject property because the former church is located adjacent to a residence which is also eligible as a Napa Landmark.
- A large parcel containing the non-historic Safeway store and a surface parking lot is located across the alley to the west of the Christian Science Church, and may provide an opportunity for new development.
 - New construction on this parcel should respect the scale, rhythm, and character of the nearby Calistoga Avenue Historic District, located across Polk Street.
 - New construction on this parcel could be up to two stories along the Polk Street frontage to protect the character of both the Christian Science Church and the Calistoga Avenue Historic District; three to four stories may be allowed on the interior of the block if the height is integrated within a stepped massing.



East facade, showing one-story addition to T-shaped building.

FIRST UNITED METHODIST CHURCH

625 Randolph Street



Cruciform plan with square tower

Arched stained glass windows

Tracery above entry vestibules

Opportunity to replace non-historic buildings with new development



APN	003262007000
YEAR BUILT	1916
ARCHITECT	Luther Turton
STYLE	English Gothic Revival
USE	Religious
CHRSC	5S1, 3S

Retain

- Restored appearance
- English Gothic architectural style
 - Two and one-half story massing
 - Cross-gabled roof with parapet
 - Cruciform plan with square corner tower
 - Gabled dormer window
 - Fenestration pattern, including arched window openings and stained glass windows
 - Stucco cladding
 - Tracery above entry vestibules
- Significant interior features (if possible)

Consider

- Retaining type and location of existing signage

Avoid

- Removal of original architectural details
- Further additions to the building and/or denser new construction on the property

Additions & Adjacent New Construction

- The First United Methodist Church is a Napa Landmark, is eligible for listing in the National Register of Historic Places, and is located across the street from the Napa Abajo/Fuller Park National Register Historic District. Therefore,

the building should be treated with the utmost care. Additions are not recommended; however, an addition may be possible if it is located in the footprint and building envelope of the existing rear addition and does not exceed the height of the church.

- The First United Methodist Church stands on the northwest corner of the intersection of Randolph and Division Streets. Adjacent surface parking lots and non-historic church buildings may provide an opportunity for new development.
- Because the church has a powerful street presence, it is possible for adjacent new construction to be one full story greater than the subject building. However, new construction that exceeds the height of the church should be set back from the existing building.
- The position of the church at a large intersection ensures that sightlines/views of the building will be preserved. Therefore, for new construction across Randolph Street, there are no height restrictions relative to historic resources except as otherwise prescribed by the DSP Development Standards. However, new construction should respect the scale, rhythm, and character of the surrounding neighborhood.



A new addition could be constructed within the envelope of the existing rear addition; it should not exceed the height of the church and should be set back from the corner.



Centennial Hall/Adams Hall (top) and Bonner Educational Building (bottom) are non-contributors to the property, and could be replaced by sensitive new development.

642 RANDOLPH STREET



Hipped roof with shaped brackets

Wood sash windows with decorative surrounds

Simple front porch

Landscaped setback from Randolph Street



APN	003271001000
YEAR BUILT	1880
ARCHITECT	Unknown
STYLE	Italianate
USE	Residential
CHRSC	553

Retain

- Italianate architectural style
 - One story massing
 - Hipped roof with over-hanging eaves supported by shaped brackets
 - Decorative window surrounds
 - Simple front entry
 - Wood cladding
 - Wood sash one-over-one windows
 - Partially glazed wood door surmounted by transom light
- Setback from Randolph Street

Consider

- If converted to commercial usage, utilize free-standing and/or applied flat signage

Avoid

- Addition of architectural details that create a false sense of historical development
- Additions that overwhelm the subject property

Additions & Adjacent New Construction

- The subject property is located on the southeast corner of the intersection of Randolph and Fourth Streets. A non-historic building (6Z status code) stands to the south of the subject property and a surface parking lot is located to the east (rear); these sites may provide opportunities for new development.
 - New construction adjacent to the subject property should not exceed a height of two stories.
 - Development on the surface parking lot to the rear should also respect the character of the nearby Treadway & Wigger Funeral Chapel (623 Coombs Street).
- New development may also be possible on the large surface parking lot across Fourth Street. Development of this parcel should defer to the character of the First Presbyterian Church (1333 Third Street), and should preserve views of the spire. New construction should respect the low scale, rhythm, and character of 642 Randolph Street and its surrounding residential neighborhood, although taller heights may be possible on the interior of the block if the height is integrated within a stepped massing, and a monolithic bulk is avoided.
- It is recommended that any additions to the building occur at the rear (east) and not exceed two stories in height. If a side addition is made to the building, it should be set back from the primary façade on Randolph Street and should be lower than the height of the subject property.



Rear facade, showing sensitive rear porch and addition and detached garage/shed.

830-832 SCHOOL STREET



Hipped roof with dormer window

Exposed rafter tails

Existing signage in appropriate location

Low concrete retaining wall



APN	003205013000
YEAR BUILT	1905
ARCHITECT	Unknown
STYLE	Vernacular
USE	Residential / Commercial Conversion
CHRSC	553

Retain

- Vernacular architectural style
 - One and one-half story massing
 - Hipped roof with over-hanging eaves and exposed rafter tails
 - Hipped dormer window with leaded glass
 - Simple porch supported by posts
 - Wood cladding
 - Wood sash one-over-one windows
 - Partially glazed wood paneled door
- Landscaped setback with low concrete retaining wall

Consider

- Retaining type and location of commercial signage
- Converting back to residential use

Avoid

- Addition of architectural details that create a false sense of historical development
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located on the southeast corner of the intersection of Second and School Streets. A National Register-eligible building (3S status code) stands to the rear (east) of the subject building.
- Rear additions are preferred; however, a side addition may be possible if it is set back from the primary building façade on School Street. Additions should be lower than the height of the subject building.
- The surface parking lot to the north and non-historic building (6Z status code) to the south of the subject property may provide an opportunity for new development. New construction adjacent to the subject building should not exceed two stories.
- Development may occur across School Street from the subject property on sites currently occupied by non-historic buildings. New construction on these parcels should not exceed three stories.



Fenestration pattern and angled bay on north facade should be maintained, but the adjacent surface parking lot may provide an opportunity for new development.

NAPA SAVINGS & LOAN ASSOCIATION BANK

1310 Second Street



Cantilevered canopies and irregular massing

Large expanses of clear glazing

Consider replacement lighting

Low planters



APN	003207006000
YEAR BUILT	1960
ARCHITECT	Unknown
STYLE	Contemporary
USE	Commercial (Vacant, originally Bank)
CHRS	553

Retain

- Cantilevered canopies
- Unusual massing
- Roman brick cladding
- Large expanses of glazing
- Simple, neutral color palette
- Planters and landscaping integrated into the building's overall design

Consider

- Replacement lighting
- Replacement of non-historic doors with fully-glazed steel or aluminum frame doors

Avoid

- Tinted or opaque glass
- Rooftop additions

Additions & Adjacent New Construction

- Rooftop additions or adjacent additions are not recommended in order to preserve unusual massing and horizontality.
- Adjacent new construction in parking lot may be acceptable, as long as it does not directly abut the building, especially at the southwest facade. No height limitations relative to historic resources, except as otherwise prescribed by the DSP Development Standards.



Detail of southeast corner, showing non-historic doors at left, full-height glazing, and integral landscaping.

U.S. POST OFFICE, FRANKLIN STATION

1351 Second Street



U.S. Post Office signage

Art Deco/WPA Moderne details,
including fluted pilasters and stylized
terra cotta eagle panels

Replace non-historic doors with those
compatible with WPA Moderne style

Clean and repair lanterns,
where deteriorated

Granite stairs



APN	003208001000
YEAR BUILT	1933
ARCHITECT	William Corlett
STYLE	Art Deco/WPA Moderne
USE	Civic (Post Office)
CHRSC	IS, 5S1

Retain

- Tripartite massing
- Sunken light well at primary façade
- Brick cladding
- Granite stairs
- Art Deco architectural details
 - Fluted pilasters
 - Terra cotta details at cornice and beltcourse
 - Terra cotta panels with eagle motif
 - Large exterior lanterns
 - Multi-light steel sash windows
- Interior lobby finishes and lighting
- U.S. Post Office signage
- Landscaping on east and west ends of building

Consider

- Retention of existing Post Office use
- Cleaning and repair of deteriorated lanterns, granite stairs, and other materials
- Replacing non-historic doors with WPA Moderne style doors

Avoid

- Harmful physical or chemical treatments
- Damage to or removal of brick or terra cotta elements
- Alterations to landscaped open space at east and west ends

Additions & Adjacent New Construction

- Rooftop or horizontal additions are not recommended to preserve the building's iconic massing and horizontality.
- Landscaped yards at east and west ends of Post Office are character-defining features, so alterations are not recommended along Second, Franklin, and Randolph. If interventions must occur, they should only be on the rear of the parcel (current service area).
- Alterations should be minor, and should meet Standards to preserve its eligibility for listing in the National Register.
- Service area and adjacent parcel containing Zeller's Hardware (819 Randolph Street) may provide opportunities for new construction.
 - The adjacent parcel could be developed to the lot line.
 - Except as otherwise prescribed by the DSP Development Standards, there are no height restrictions relative to historic resources on adjacent new development because the Post Office has such a strong street presence.



Detail of non-historic doors, granite stairs, and lanterns



Landscaped side yard, Randolph Street.

1553 SECOND STREET



Hipped roof with overhanging eaves
and gabled front dormer

Patterned shingles

Remove fire alarm

Replace existing hanging signs with
flat or freestanding signage



APN	003202001000
YEAR BUILT	1900
ARCHITECT	Unknown
STYLE	Queen Anne / Vernacular
USE	Residential / Commercial Conversion
CHRS	553

Retain

- One story massing
- Queen Anne and Vernacular architectural styles
 - Hipped roof with over-hanging eaves supported by shaped brackets
 - Gabled front dormer
 - Simple porch supported by piers
 - Wood cladding, including patterned shingles
 - Wood sash one-over-one windows
 - Partially glazed wood paneled door

Consider

- Removal of fire alarm on primary facade
- Flat applied signage rather than hanging signs
- Conversion back to residential use

Avoid

- Addition of architectural details that create a false sense of historical development
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located the southeast corner of the intersection of Church and Second Streets. A couple of National-Register-eligible properties (3S status code) stand on the southern portion of the block.
- Non-historic buildings located on the south and east parcels adjacent to the subject building may provide an opportunity for adjacent new construction. New construction on these parcels should not exceed two stories immediately adjacent to the subject building, but could step higher away from the subject building.
- The surface parking lot across Second Street may provide an opportunity for new development. New construction across Second Street should not exceed three stories.
- Additions should not interfere with roofline. Rear additions are recommended; however, a side addition is possible if it is slightly lower than the subject building and set back from the primary façade of the building on Church Street. The width of a side addition should not exceed half the width of the subject building.

1763 SECOND STREET



Craftsman style, including wood shingle cladding, dormer, and exposed rafter tails

Consider re-opening enclosed front porch

Consider free-standing signage instead of applied signage

Landscaped setback from Second Street



APN	003251005000
YEAR BUILT	1905
ARCHITECT	Unknown
STYLE	Craftsman
USE	Residential / Commercial Conversion
CHRSC	553

Retain

- Craftsman architectural style
 - One and one-half story massing
 - Cross gabled roof with purlins and exposed, shaped rafter tails
 - Gabled dormer window
 - Wood shingle cladding
 - Paired pilasters
 - Wood sash windows with historic screens and leaded glass
- Landscaped setback from Second Street

Consider

- Re-open enclosed front porch
- If commercial use is retained, consider free-standing signage rather than applied signage
- Conversion back into residence

Avoid

- Addition of architectural details that create a false sense of historical development
- Additions that overwhelm the subject property

Additions & Adjacent New Construction

- The subject property is located near the intersection of Second and Jefferson Streets, adjacent to non-historic buildings to the west and south, and surrounded by a surface parking lot. These adjacent parcels may provide opportunities for new development.
- Because the building is only one and one-half stories in height, new construction immediately adjacent to the subject building should be limited to two stories, and should not abut the subject building. Further away from the subject building, development on the large surface parking lot could step up to three stories if the height is integrated within a stepped massing, and a large bulk is avoided.
- New construction across Second Street from the subject property should not exceed two to three stories to ensure compatibility with neighborhood character.
- It is recommended that any additions to the building occur at the rear (south) and not exceed one story in height. If a side addition is made to the building, it should be set back from the primary façade on Second Street and should be lower than the height of the subject property.



Surface parking lot at rear of parcel may provide opportunity for additions or adjacent new construction.

1776 SECOND STREET



Complex gable roof with shallow eaves

Simple front porch supported by arcade

Remove screens that obscure wood sash windows

Deep setback from College and Second Streets



APN	003194005000
YEAR BUILT	1900
ARCHITECT	Unknown
STYLE	Classical Revival
USE	Residential / Commercial Conversion
CHRS	553

Retain

- Maintain restored appearance
- One-and-one-half story over raised basement massing
- Complex gable roof with shallow over-hanging eaves
- Simple front porch supported by arcade
- Wood cladding
- One-over-one light, wood sash windows
- Deep setback from College and Second Streets

Consider

- Less prominent window screens which do not obscure wood sash windows
- Separate, shallower canopies above the east window and entrance
- Re-introducing residential use
- If commercial use is retained, consider retention of existing type and placement of commercial signage

Avoid

- Addition of architectural details that create a false sense of historical development
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located on the northeast corner of the intersection of College and Second Streets. Opportunity sites (surface parking lots) are located to the north of the subject building. The building stands on a block which contains primarily non-historic buildings.
- Adjacent new construction should be three or fewer stories.
- Additions should not interfere with roofline. Rear one-story additions are recommended although a one-story addition to the east of the building may be possible so long as it is set back from the primary façade of the building on Second Street.



Consider removing canopy from entrance.

1778 SECOND STREET



Pyramidal roof

Octagonal bay window

One-story over raised basement



APN	003193004000
YEAR BUILT	1905
ARCHITECT	Unknown
STYLE	Vernacular
USE	Residential / Commercial Conversion
CHRS	553

Retain

- Vernacular style
 - One-story over raised basement massing with prominent entry stair
 - Pyramidal roof
 - Simple front porch
 - Recessed entry
 - Octagonal corner bay
 - Wood cladding
- Setback from street

Consider

- Historically accurate door hardware
- If windows are replaced, using wood sashes
- Re-introducing residential use
- If commercial use is retained, consider retention of existing signage type and location: flat board or low freestanding sign

Avoid

- Addition of architectural details that create a false sense of historical development
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- Opportunity sites are located north and west of the subject building. These areas currently contain surface parking lots.
- An addition may be constructed on the west façade of the building, preferably in the northern (rear) half of the façade. This addition should be limited to one story and should not interfere with roofline of the building.
- An addition may also be constructed at the north (rear) of the building, and should not exceed one story.
- New construction should maintain existing open space between the subject building and College Street.
- There are no development restrictions relative to historic resources across Second Street.

THEODORE BELNAP COTTAGE #1

1790-1792 Second Street



Pyramidal roof

Decorative shingles and stickwork

Simple porch supported by turned wood posts

Landscaped setback on Second Street



APN	003193008000
YEAR BUILT	1890
ARCHITECT	Theodore Belnap (Builder)
STYLE	Stick-Eastlake / Queen Anne
USE	Residential / Commercial Conversion
CHRS	553

Retain

- Restored appearance
- One-story over raised foundation massing
- Spatial relationship to identical building at 952 Jefferson Street
- Pyramidal roof supported by shaped brackets
- Queen Anne/Stick-Eastlake style
 - Square bay window
 - Simple front porch supported by shaped wood posts
 - Elongated brackets/stickwork
 - Decorative window surrounds
 - Wood cladding
 - One-over-one light, wood sash windows
 - Decorative shingles in gable end
- Landscaped setback from Second Street

Consider

- Doors in the primary façade which are more historically accurate
- Retain existing type and placement of commercial signage
- Coordinating treatment with adjacent, identical building at 952 Jefferson Street

Avoid

- Removal of original architectural details and ornamentation
- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- Additions should not interfere with roofline. Rear one-story additions are recommended, and should be set back from the corner, should not exceed the width of the building, and should not increase the length by more than a third. However, a one-story addition to the east may be possible so long as it is set back from the primary façade of the subject building.
- Surface parking lots to the north, east and south of the subject building may provide opportunities for adjacent new construction. An identical house, 952 Jefferson Street, stands to the north and a local Landmark-eligible building (5S3 status code) stands to the east.
- Adjacent new construction should be two or fewer stories, and should preserve the spatial relationship between the subject building and 952 Jefferson Street.



Simple massing and architectural details on Jefferson Street facade should be retained

1042 SEMINARY STREET



Gable roof with overhanging eaves and purlins

Restore porch with historically compatible second-floor balustrade

Original wood sash windows

Consider removal of metal security door



APN	003198001000
YEAR BUILT	1905
ARCHITECT	Unknown
STYLE	Vernacular
USE	Residential
CHRS	553

Retain

- Vernacular style
 - Two-story massing
 - Gable roof with over-hanging eaves supported by decorative brackets
 - Wood cladding
 - One-over-one wood sash windows
 - Simple two-story front porch
 - Brick chimney with stone base
- Detached garage at rear of parcel

Consider

- Restoration of the front porch: historically compatible spindles on the second story
- If replacing windows, using wood sashes with historically accurate divided light
- Restoration of the transom lights: historically accurate, translucent, divided lights
- Removal of the metal security door
- Restoration of the chimney cap
- If converted to commercial use, use a free-standing sign with a low profile or door or window signage

Avoid

- Addition of architectural details that create a false sense of historical development
- Demolition of the garage
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located on the southeast corner of the intersection of Clay and Seminary Streets. A couple of local Landmark-eligible buildings (5S3 status code) stand on the southern portion of the block. The non-historic building to the south and the large surface parking lot to the east may provide opportunities for adjacent new construction.
- Adjacent new construction to the south should not exceed two stories along Seminary Street; adjacent new construction to the rear (east) should not exceed three stories along Clay Street.
- Additions should not interfere with roofline. Rear one-story additions are recommended; however, an addition could be located on the north if it is lower than the second floor solarium windows and is set back from the primary façade of the building on Seminary Street.



Detached garage should be retained, and additions should not obscure second floor solarium windows

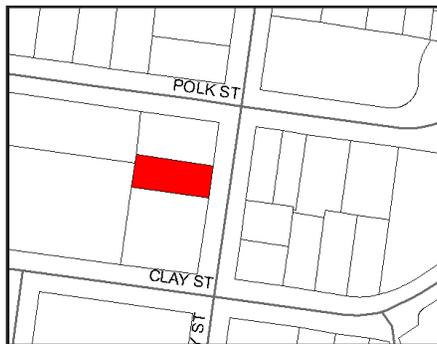
1133 SEMINARY STREET



Octagonal bays

Leaded glass windows

Maintain driveway and front setback



APN	003191003000
YEAR BUILT	1915
ARCHITECT	Unknown
STYLE	Shingle
USE	Residential
CHRSC	553

Retain

- Rectangular footprint
- Two-story massing
- Pyramidal roof and overhanging eaves
- Octagonal bays
- Wood shingle siding
- Leaded windows and front door

Consider

- If windows are to be replaced, use wood
- If commercial use is introduced, signage could be flat board or low freestanding sign

Avoid

- Addition of architectural details that create a false sense of historical development
- Additions that overpower the building

Additions & Adjacent New Construction

- Additions should be located at the rear of the building. It is not advisable to construct additions to the building to the north or south; however, if additions are constructed, they should occur in the rear half of the building and should not exceed the height of the subject building. Ideally, additions would connect to the building through existing fenestration.
- The subject building is located between surface parking lots to the north and south. A garage is located west of the building. The surface parking lots represent opportunity sites for new construction. New construction should not exceed the height of the subject building.



Detail of ground floor/primary entrance

BORREO BUILDING

920 Third Street



Restore stepped parapet and gable roof to match historic photos

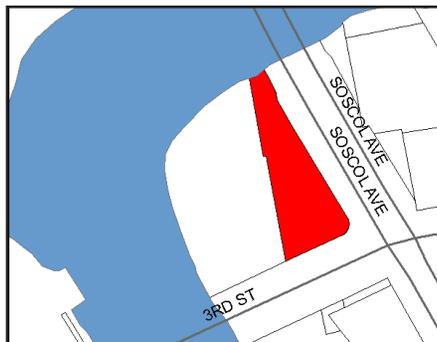
Stepped parapet would be an appropriate location for signage

Stone masonry construction with quoins at corners

Arched window openings

Install flat canopy at beltcourse to match historic photos

Retain restored compatible storefronts



APN	006133002000
YEAR BUILT	1877
ARCHITECT	Unknown
STYLE	Nineteenth Century Commercial
USE	Commercial (Vacant)
CHRSC	5S1, 3S

Retain

- Nineteenth Century Commercial style
 - Two story massing with shaped parapet
 - Symmetrical facade
 - Decorative arched window surrounds
 - Stone masonry construction with quoins
- Storefront windows surmounted by transom lights (compatible restoration)

Consider

- Restoration based on historic photographs, including re-installing flat canopy at beltcourse, reconstruction of a third step on the front parapet, and construction of gable roof
- Cleaning and repair of the stone masonry
- Flat applied and/or illuminated commercial signage on parapet, or monument sign on property to increase visibility from downtown
- Landscaping or other outdoor use that activates the site

Avoid

- Additional architectural decoration that competes with simplicity of historic design
- Harmful chemical or physical treatments
- Damage to or removal of historic materials

- Incompatible color, signage, and awning treatments
- Due to high visibility of building from all angles, rooftop additions are discouraged

Additions & Adjacent New Construction

- The subject property is located on a city block east of the Napa River at the northwest corner of the intersection of Third Street and Soscol Avenue. It has been isolated by the construction of the Third Street Bridge and the extension of Soscol Avenue.
- The area between the subject building and the river to the west is designated as a river setback, and is therefore not available for development. The Borreo Building is located on a fully-developed block across the street from a future City park. There are no height limitations for new construction relative to historic resources across the street from the building.
- The subject property is a Napa Landmark; therefore, additions are not recommended. However, a one-story addition may be constructed on the rear (north) façade so long as it does not exceed the width of the subject property. Additions to other facades are not recommended.
- Limit number of new openings cut into secondary facades. If necessary, it may be possible to introduce simple windows along the west facade that reflect the existing fenestration pattern on the east facade.



Rear facade, showing second-floor warehouse doors and symmetrical composition.



Borreo Building, circa 1975. (Kilgallon, 32)



Third Street circa 1880, showing Borreo Building (center) surrounded by adjacent development. (Verardo, 40)

UPTOWN THEATRE
1332-1364 Third Street



Restored blade sign

Decorative plaster grilles

Marquee with ticket booth
and entry vestibule



APN	003208004000
YEAR BUILT	1935
ARCHITECT	Unknown
STYLE	Art Deco
USE	Commercial (Theatre)
CHRS	3S, 5S3

Retain

- Restored appearance, including overall bulk, stucco cladding, and Art Deco ornament
- Blade sign and marquee

Consider

- Retaining theatre use
- Re-introducing ground floor retail use
- If changes are to occur, future changes should be historically accurate

Avoid

- Punching new openings in the side or rear façades
- Insensitive color, signage, awning treatments

Additions & Adjacent New Construction

- Rooftop additions are not recommended to preserve the building's simple massing.
- Adjacent parcels containing two non-historic buildings Zeller's Hardware (819 Randolph Street) may provide an opportunity for new construction or a compatible addition. Adjacent new construction is recommended over an addition.
- The adjacent parcels could be developed to the west lot line, but should be set back from the corner of the Uptown Theatre's primary facade.
 - If it is an addition, construction should not exceed height of Uptown Theatre marquee
 - Except as otherwise prescribed by the DSP Development Standards, no height restrictions relative to historic resources on adjacent new development because the Uptown Theatre has such a strong street presence.
- Alterations should be minor, and should meet Standards to preserve its eligibility for listing in the National Register.



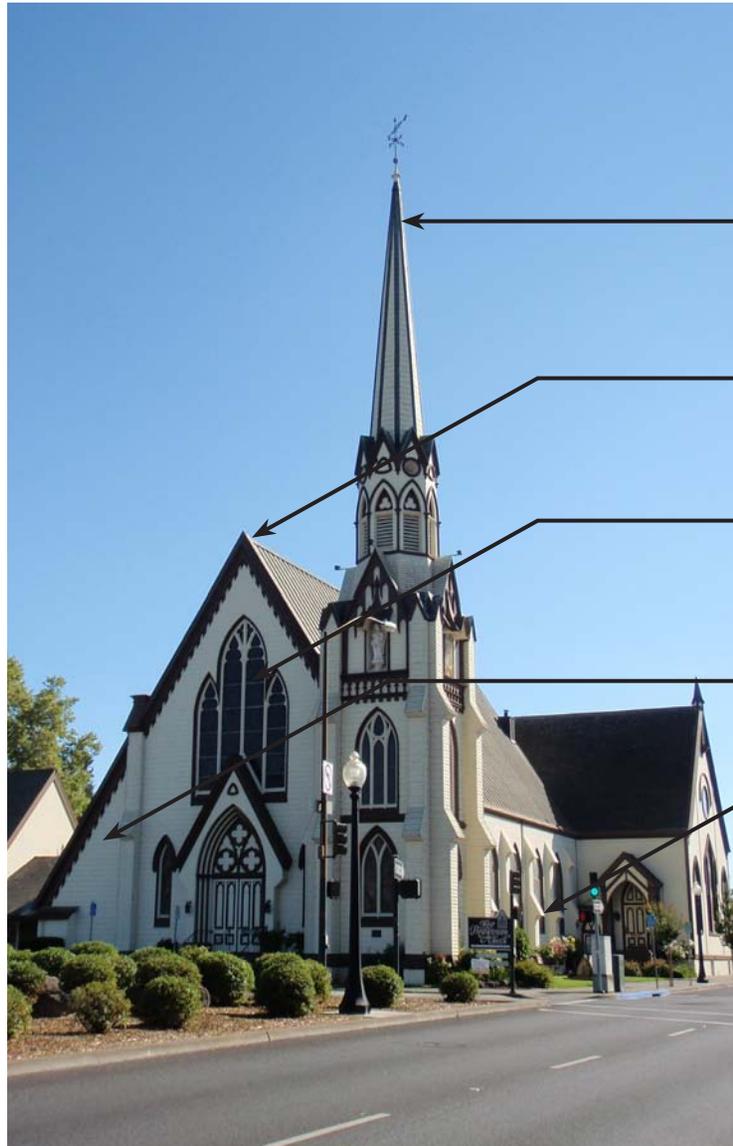
Detail of recently restored ticket booth and entry vestibule



*Historic photograph of the Uptown Theatre, circa 1940.
(Uptown Theatre Website)*

FIRST PRESBYTERIAN CHURCH

1333 Third Street



Steeple

Steeply pitched roof

Lancet windows (stained glass)

Remove non-historic shed-roofed addition

Cruciform plan, with chapel at rear and landscaped courtyard



APN	003209004000
YEAR BUILT	1874
ARCHITECT	Daley & Eisen (builder J.W. Batchelor)
STYLE	Gothic Revival
USE	Religious (Church)
CHSRC	IS, 5S1

Retain

- Gothic Revival architectural style
 - Steeply pitched front-gabled roof with steeple
 - Cruciform plan, including landscaped courtyard at north façade
 - Wood cladding
 - Lancet windows (stained glass)
 - Prominent entry with paneled wood doors
 - Tracery, finials, and other architectural details
- Significant historic interior features, if possible (i.e. sanctuary)

Consider

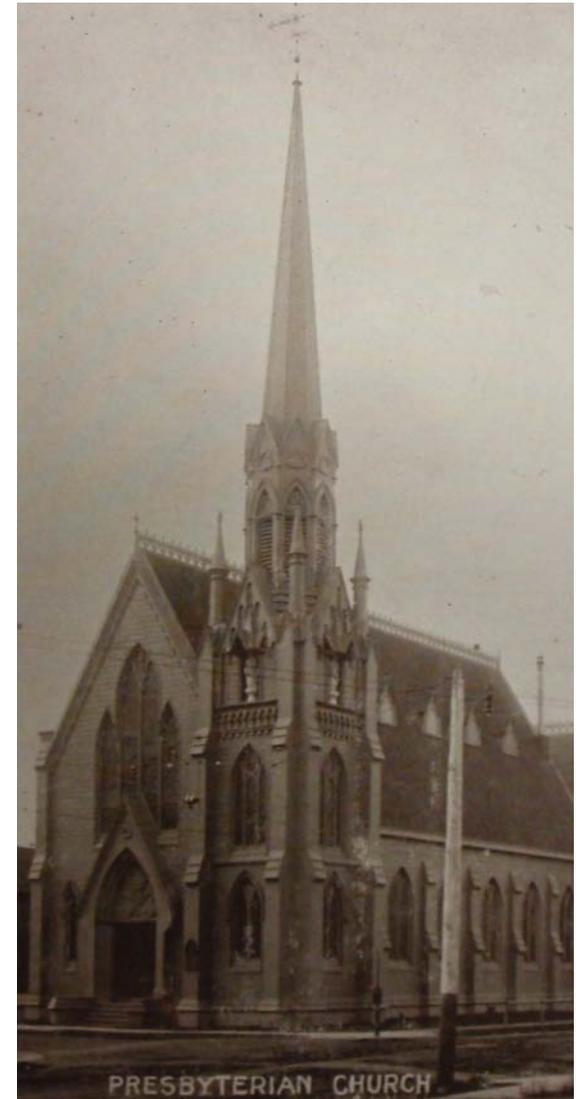
- Removal of shed-roofed addition at south end (see historic photo)
- Re-roofing with more compatible cladding material
- Removal of beveled vinyl siding on steeple
- If changes are to occur, future changes should be historically accurate

Avoid

- Punching new openings in the side or rear façades
- Damage or removal of historic fabric
- Insensitive color, signage treatments

Additions & Adjacent New Construction

- Alterations should be minor, and should meet Standards to preserve its eligibility for listing in the National Register.
- Non-historic social hall and school buildings west and south of church, respectively, may provide opportunities for additions or adjacent new construction.
 - Multiple smaller additions would be more compatible than a single large block addition.
- New additions should be separated from church to preserve its form, and should be connected to church through existing openings using a “hyphen.”
- Across Randolph Street, the large surface parking lot may provide an opportunity for new development. New construction across on the surface parking lot should not be taller than the apex of the gable roof at the corner, and should have a sense of relief at the corner to preserve views of the spire and church frontage. New construction could be taller on the interior of the block if the height is integrated within a stepped massing, and a monolithic bulk is avoided.
- Across Third Street, the parcel currently occupied by non-historic Zeller’s Hardware (819 Randolph Street) may provide an opportunity for new construction. New construction on this parcel should not exceed the height of the Uptown Theatre marquee.



First Presbyterian Church, 1908. (Darms, 63)

1516 THIRD STREET

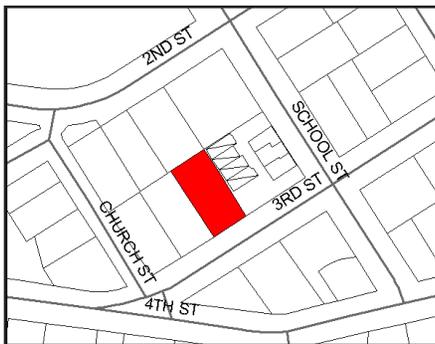


Stick/Eastlake architectural details, including square bay window, spindlework, and elongated brackets

Clean, repair, and paint deteriorated fabric, where necessary

Adjacent parcel with non-historic building may provide opportunity for new development

Consider re-introducing historically compatible low fencing or site wall



APN	003202008000
YEAR BUILT	1885
ARCHITECT	Unknown
STYLE	Stick-Eastlake
USE	Residential
CHRS	3S

Retain

- Two story massing
- Stick/Eastlake architectural style
 - Square bay window with decorative window surrounds
 - Cross gable roof with over-hanging eaves supported by shaped brackets
 - Gable roofed portico supported by turned wood posts
 - Wood cladding
 - Applied wood ornament, including shingles, stickwork, and spindlework
 - Wood sash one-over-one windows
 - Partially glazed wood paneled door
- Setback from Third Street

Consider

- Clean, repair, and paint deteriorated original historic fabric, where necessary
- Re-introducing a historically accurate fence (i.e. low concrete site wall with wrought iron fencing)
- Maintaining existing type and location of signage
- Conversion back to residential use

Avoid

- Insensitive color and signage treatments

Additions & Adjacent New Construction

- The subject building is eligible for listing in the National Register, with another National-Register-eligible property located to the west. The building should therefore be treated with the utmost care.
- Additions are not recommended for National-Register-eligible properties, although a small rear addition may be possible if completed in a sensitive manner.
- Alterations should be minor, and should meet the Standards to preserve the building's eligibility for listing in the National Register.
- The non-historic three-story office building to the east and the surface parking lot to the north of the subject building may provide an opportunity for new development.
 - New construction to the north of the subject building should not exceed three stories.
 - New construction east of the subject property should not exceed three stories, and should respect the scale, rhythm, and residential character of the surrounding neighborhood.
- Development may occur across Third Street from the subject property on sites currently occupied by non-historic buildings. New construction on these parcels should not exceed three stories.

1526 THIRD STREET



Consider removing gable ornament,
which does not appear to be original
to the building

Art glass window

Simple porch with wood posts and
decorative braces

Deep front and side setbacks



APN	003202009000
YEAR BUILT	1889
ARCHITECT	Unknown
STYLE	Greek Revival
USE	Residential
CHRSC	3S

Retain

- Greek Revival architectural style
 - Two story massing
 - Cross gable roof with over-hanging eaves and prominent front-facing gable
 - Simple hipped-roof porch supported by wood posts and decorative braces
 - Wood cladding
 - Wood sash one-over-one windows
 - Partially glazed wood paneled door
- Wrought iron fence
- Wood barn at rear of parcel

Consider

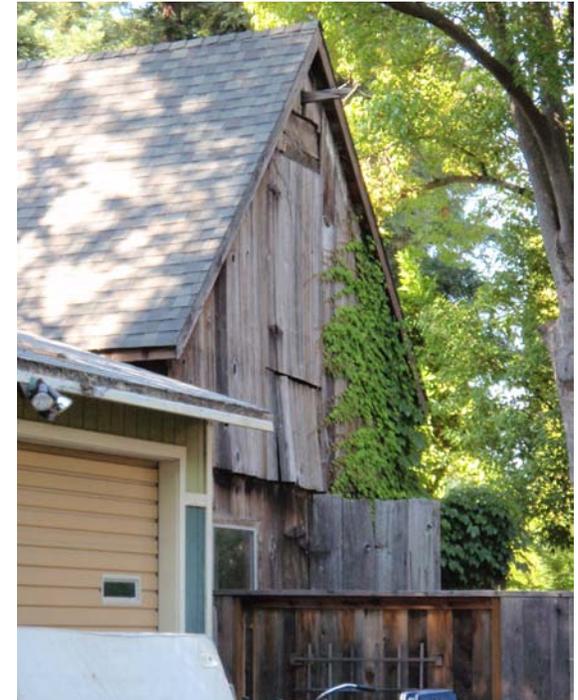
- Removal of gable ornament, which does not appear to be original to the Greek Revival-style building. Complete additional research, if possible, to confirm whether or not this feature is original.
- Removal of metal security screen on door and windows
- Historically sensitive paint palette
- If converted to commercial use, consider free-standing or flat applied signage
- Rehabilitation of the historic wood barn

Avoid

- Addition of architectural details that cause a false sense of historical development

Additions & Adjacent New Construction

- The subject building is eligible for listing in the National Register, with another National-Register-eligible property located to the east.
- Additions are not recommended for National-Register-eligible properties, although a small rear addition may be possible if completed in a sensitive manner and does not interrupt the spatial relationship between the house and the barn.
- Alterations should be minor, and should meet the Standards to preserve the building's eligibility for listing in the National Register.
- The non-historic building to the west (6Z status code) and the non-historic City-owned building and associated surface parking lot to the north of the subject building may provide an opportunity for new development.
 - New construction to the north of the subject building should not exceed three stories, and should not abut the historic barn.
 - New construction west of the subject property should not exceed two stories.
- Development may occur across Third Street from the subject property on sites currently occupied by non-historic buildings. New construction on these parcels should not exceed three stories.



Historic wood barn located at the rear of the parcel should be retained and rehabilitated.

GILMORE OIL CO. GAS STATION 1538 Third Street



Projecting canopy with streamlined shape and details (one car wide)

Storefront windows

Large vehicular opening

Surface parking lot may provide an opportunity for adjacent new construction



APN	003201006000
YEAR BUILT	1940
ARCHITECT	Unknown
STYLE	Streamline Moderne
USE	Commercial (Auto Repair, originally Gas Station)
CHRSC	7N*

NOTES

Page & Turnbull found the property at 1538 Third Street to meet the eligibility criteria for listing as a local landmark, and suggested a "5S3" status code. However, during the public outreach process for the Downtown Napa Survey, the property owner of 1538 Third Street objected to the survey findings, and a peer review of Page & Turnbull's findings was conducted, resulting in a difference of professional opinions. The "7N" status code assigned here indicates that further study will be needed to resolve this difference of opinions; in the future, the City Council could consider supplemental information or opinions in addition to Page & Turnbull's findings to determine whether this property is eligible for local landmark designation.

Retain

- Streamline Moderne detailing
- One-story massing with projecting canopy
- Large vehicular opening
- Steel casement windows on west side
- Storefront windows

Consider

- Retention of landscaping at lot line to serve as a buffer between adjacent historic residences
- Encouraging a use that utilizes indoor-outdoor spaces to preserve and highlight the building's unique form

Avoid

- Additions that would compete materially with the subject building's ability to convey its significance as a former gas station
- Details that detract from Streamline Moderne style

Additions & Adjacent New Construction

- Surrounding surface parking could accept sensitive new construction or additions.
- Up to two-story L-shaped addition or adjacent new construction may be acceptable, as long as it does not overpower the building, and the canopy remains visible from the street.
- Care should be paid to the connection between the existing building and the new construction, if any; there could be a gap between the side façade and the new construction, or a small connector could be used.



Detail of streamlined canopy, which should be retained.

NICHOLS HOUSE

1562 Third Street



Italianate style, including bracketed cornice, symmetrical facade, and pediment

Pedimented front porch supported by distinctive turned posts

Surface parking lot may provide opportunity for adjacent new construction

Landscaped setback from Third and Wilson Streets; consider re-installing low fence based on historic photographs



APN	003201001000
YEAR BUILT	1879
ARCHITECT	Ira Gilchrist
STYLE	Italianate
USE	Residential
CHRSC	3S

Retain

- Restored appearance
- Two-story massing with symmetrical facade
- Italianate style
 - Pyramidal roof with over-hanging eaves supported by decorative brackets and capped by a pediment
 - Wood cladding
 - Wood sash windows
 - Decorative window surrounds
 - Pedimented front porch supported by distinctive turned wood posts
 - Paired paneled wood doors with glazed transom
- Landscaped setback from Third and Wilson Streets

Consider

- Introduction of new openings on primary (Third Street) or west (Wilson Street) facades
- Re-installing low fence (see historic photo)
- Retention of residential usage (single-family dwelling or sensitive apartment conversion)
- If converted to commercial use, consider free-standing or window signage

Avoid

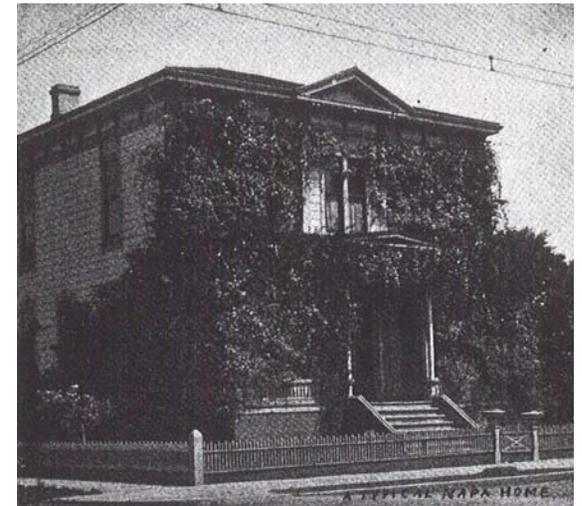
- Removal of original architectural details and ornamentation
- Additions that overpower the building

Additions & Adjacent New Construction

- The subject building is located northeast intersection of Wilson and Third Streets. Several local Landmark-eligible buildings (5S3 status code) stand on adjacent lots to the east.
- The surface parking lot at the east edge of the subject parcel may provide an opportunity for small-scale adjacent new construction. Adjacent new construction should not exceed the height of the subject building, and should maintain the building spacing typical along Third Street.
- The non-historic buildings across Wilson Street to the west of the subject building may provide an opportunity for large-scale new development. Construction across the street should not exceed three stories.
- Additions are discouraged. The building is eligible to be listed on the National Register and should be treated with the utmost of care, as it retains a high level of integrity.



Wilson Street facade with regular fenestration pattern and formal landscaping.



Nichols House covered with ivy, 1908. (Darms, 52)

1742 THIRD STREET



Simple vernacular form, with one-story massing and hipped roof

Replace porch with design more compatible with Victorian-era vernacular style to improve building's integrity

Angled bay window, which appears to be a later addition

Repair deteriorated materials



APN	003251017000
YEAR BUILT	1890
ARCHITECT	Unknown
STYLE	Vernacular
USE	Residential
CHRSC	553

Retain

- Vernacular architectural style
 - One story massing
 - Hipped roof with over-hanging eaves
 - Horizontal wood cladding
 - Wood sash windows
- Deep setback from Third Street

Consider

- Relocate or trim landscaping at entry porch
- Replacement of porch with design more compatible with Victorian-era vernacular style (i.e. replace battered columns, lower-profile roof, install a balustrade comprised of spindles or equivalent)
- If converted to commercial usage, utilize free-standing and/or applied flat signage

Avoid

- Addition of architectural details that create a false sense of historical development
- Additions that overwhelm the subject property

Additions & Adjacent New Construction

- The subject property is surrounded by surface parking lots and landscaping, which may provide opportunities for new development. Because 1742 Third Street is only one story in height, new construction immediately adjacent to the subject building should be limited to two stories, and should not abut the subject building. Further away from the subject building, development on the large surface parking lot could step up to three stories if the height is integrated within a stepped massing, and a large bulk is avoided.
- New construction across Third Street from the subject property should not exceed three stories to ensure compatibility with neighborhood character.
- It is recommended that any additions to the building occur at the rear (south) and not exceed one story in height. If side additions are made to the building, they should be set back from the primary façade on Third Street and should be lower than the height of the subject property.



1763 Third Street is located on a large parcel, and is set back significantly from Third Street.

1766 THIRD STREET



Craftsman style details, including one-story massing, knee braces, and dormer window

Open front porch supported by piers

Opportunity for new development on surrounding surface parking lot



APN	003251019000
YEAR BUILT	1922
ARCHITECT	Unknown
STYLE	Craftsman
USE	Residential
CHRSC	5S3

Retain

- Craftsman architectural style
 - One and one-half story massing
 - Hipped roof with over-hanging eaves and exposed, shaped rafter tails
 - Gabled dormer window with knee braces
 - Simple open front porch supported by piers
 - Recessed entry
 - Wood shingle cladding
 - Wood sash windows

Consider

- Remove window air conditioning unit
- If converted to commercial usage, utilize free-standing and/or applied flat signage

Avoid

- Removal of original architectural details
- Additions that overwhelm the subject property

Additions & Adjacent New Construction

- Opportunities for adjacent new construction may exist at the surface parking lots to the east and north and the non-historic building to the west of the subject property.
- Because 1766 Third Street is only one story in height, new construction immediately adjacent to the subject building should be limited to two stories, and should not abut the subject building. Further away from the subject building, development on the large surface parking lot could step up to three stories if the height is integrated within a stepped massing, and a large bulk is avoided.
- New construction across Third Street from the subject property should not exceed three stories to ensure compatibility with neighborhood character.
- It is recommended that any additions to the building occur at the rear (north) and not exceed one story in height. If a side addition is made to the building, it should be set back from the primary façade on Third Street and should be lower than the height of the subject property.

CITY OF NAPA PARKS & RECREATION DEPARTMENT
1100 West Street



Cupola

Arcaded front porch

Square corner bay



APN	003173009000
YEAR BUILT	1900
ARCHITECT	Unknown
STYLE	Classical Revival
USE	Residential / Commercial Conversion
CHRSC	553

Retain

- One-story-over-raised basement massing
- Classical Revival architectural style
 - Pyramidal roof
 - Wide overhanging eaves supported by brackets
 - Cupola
 - Arcaded front porch
 - Square corner bay
 - Decorative window surrounds
 - Wood cladding

Consider

- Replacement of doors in raised basement with more historically compatible design
- If windows are to be replaced, use wood. Maintain one-over-one light divisions.
- Re-introducing residential use
- Retention of bracketed shingled canopies over entries in the raised basement
- If commercial use is retained, signage could be flat board or low freestanding sign

Avoid

- Addition of architectural details that create a false sense of historical development

- Conversion of landscape into surface parking or other commercial use
- Additions that overpower the building

Additions & Adjacent New Construction

- Additions should not interfere with roofline. Rear one-story additions are recommended.
- Adjacent parking lot and non-historic multiplex movie theatre may provide opportunities for adjacent new construction
- Maintain open space surrounding building
- No height restrictions for adjacent new construction except as otherwise prescribed by the DSP Development Standards.

Relocation

- Due to flood control regulations, this building may be a target for relocation. The building was previously moved to this site after 1949, and therefore already lacks integrity of location. Relocating the building again does not appear to affect its eligibility for listing in the HRI.
- If this building needs to be relocated, consider moving it to a vacant site in a residential neighborhood within the Downtown Specific Plan area and restoring it to its original height (remove non-historic ground floor). This could improve the building's integrity of design, and could serve to activate the receiver site.



Secondary facade. Consider replacement of doors in two additional entrances in raised basement.

NAPA ABAJO / FULLER PARK HISTORIC DISTRICT



These seven properties are listed in the National Register as contributors to the Napa Abajo / Fuller Park Historic District.

The Napa Abajo / Fuller Park Historic District Design Guidelines (1998) apply to all these resources, and should be used to guide future alterations or development on these parcels.

No additional guidelines were prepared as part of this document, except to note that new construction across Division Street from the northern boundary of the district should respect the size, scale, rhythm, and feeling of the district.

587-591 Coombs Street



APN	003264003000
YEAR BUILT	1880
ARCHITECT	Unknown
STYLE	Shingle
USE	Residential (Duplex)
CHRSC	ID

595 Coombs Street



APN	003264003000
YEAR BUILT	1910
ARCHITECT	Unknown
STYLE	Classical Revival
USE	Residential
CHRSC	ID

Lamdin Cottage, 1236 Division Street



APN	003264002000
YEAR BUILT	1870
ARCHITECT	Unknown
STYLE	Gothic Revival
USE	Residential
CHRSC	ID

1224 Fifth Street



APN 003271006000
YEAR BUILT 1895
ARCHITECT Unknown
STYLE Vernacular
USE Residential
CHRSC ID

Robert P. Lamdin House, 590 Randolph St.



APN 003264001000
YEAR BUILT 1895
ARCHITECT Luther Turton
STYLE Classical Revival / Shingle Style
USE Residential
CHRSC ID

E.R. Gifford House, 608 Randolph Street



APN 003271007000
YEAR BUILT 1880
ARCHITECT Unknown
STYLE Queen Anne
USE Residential
CHRSC ID

618-620 Randolph Street



APN 003271008000
YEAR BUILT 1905
ARCHITECT Unknown
STYLE Vernacular
USE Residential
CHRSC ID

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CONCLUSION & NEXT STEPS

The Downtown Napa Historic Resources Design Guidelines were prepared for culturally and historically significant buildings within the Downtown Specific Plan area. All buildings included in this document appear eligible for or are already listed in the local, state, and/or national historical registers, and have been assigned a California Resource Status Code (CHRSC). The CHRSC rating system is the statewide standard for categorizing historic resources (see page 9 for definition of each CHRSC).

Depending on their status, historic resources within the Downtown Specific Plan area are subject to varying levels of design review by the Cultural Heritage Commission (CHC) and staff. Certificates of Appropriateness (COA) are required for most projects, with the purpose of conserving and enhancing compatible rehabilitation and new construction. This document can be used by the CHC and staff to help inform the COA process.

Summary of City Review Processes

Under the current Historic Preservation Ordinance, Certificates of Appropriateness are required as follows:

- *Landmarks & Landmark Districts:* COA is required for any new construction; alterations and additions to a Landmark or a contributing resource in a Landmark District; alteration or addition to a non-contributing resource in a

Landmark District; changes to major interior architectural features of a publicly-owned Landmark; and demolition of a building or structure.

- *Neighborhood Conservation Properties:* COA is required for any substantial construction visible from a public way; substantial alteration or addition visible from a public way; and demolition of a building or structure.
- *Historic Resource Inventory (HRI) Properties:* COA is required for demolition. The CHC reviews demolitions of all properties with a Map Score of “1” or “2” and properties with a Map Score of “3” within a potential historic district, while staff reviews demolitions of properties with a Map Score of “3” outside a potential historic district.

The City of Napa is in the process of converting from the existing HRI system (Maps Scores) to a new HRI system (CHRSCs). The 2011 Downtown Napa Historic Resources Survey was conducted using this new system, and historic resources should be subject to design review as follows. This updated design review process is based on the existing policies and could be effective immediately, although it could be further refined at the City’s discretion.

- **“5S1,” “5D1” or “5B”** is an individual Landmark Property or contributor to a Landmark District, and should continue to be reviewed as such (CHC)

- **“1S” or “1D”** is a National Register-listed property; National Register properties meet or exceed the significance criteria required for designation as a local Landmark Property or Landmark District, and thus should be reviewed in the same manner as Landmark Properties or contributors to Landmark Districts (CHC)
- **“3S” or “3B”** is automatically equivalent to Map Score of “1” and should continue to be reviewed as such (CHC)
- **“3CS”** is comparable to those properties listed in the HRI with a Map Score of “1” or “2” and should be reviewed as such by the CHC
- **“5S3”** is automatically equivalent to Map Score of “2” and should continue to be reviewed as such (CHC)
- **“3D” or “5D3”** is comparable to Map Score of “3” within a potential historic district and should be reviewed as such by the CHC
- **“6Z”** properties do not need to be officially designated, and are not subject to review

Refer to City of Napa website for Planning Application Forms and a full outline of the COA review process. Additional information about the CHRSCs and survey results can be found in the “Downtown Napa Historic Context Statement & Survey Report” (Page & Turnbull, 2011).

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APPENDIX

Design Guidelines Spreadsheet

The spreadsheet lists all properties that were included in the Downtown Napa Historic Resources Design Guidelines. The Assessor's Parcel Number (APN) and street address of each property are provided for identification purposes. Address(es), construction date, architectural style, Historic Resources Inventory (HRI) Map Score, and CHRSC are provided for each property. Notes about building name or history are included where applicable.

SURVEY SPREADSHEET KEY

- **c_apn:** Assessor's Parcel Number (APN)
- **c_full_address:** Parcel address (as assigned by Napa County Assessor)
- **add_bldg_address:** Additional street address (as assigned by P&T via field reconnaissance)
- **bldg_name_alt:** Building name or other identifier
- **yrbuilt:** Construction date (as assigned by Napa County Assessor or corrected by P&T, based on various research sources)
- **archt_style:** Architectural style(s)
- **HRI:** Current HRI rating (Map Score 1, 2, or 3) assigned to each parcel
- **chrsc:** California Historic Resource Status Code (CHRSC) assigned by P&T as part of intensive-level survey
- **district:** Contributor to a historic district (if applicable)

c_apn	c_full_address	add_bldg_address	bldg_name_alt	yrbuilt	archt_style	HRI	CHRSC	district
003222011000	810 - 816 BROWN ST		Center Building	1904	19th Century Commercial	1	3S	
003215001000	825 - 825 BROWN ST	810 Coombs	Napa County Courthouse	1878	Italianate	1	1S	
003222001000	840 - 844 BROWN ST		Alexandria Hotel	1910	Mediterranean Revival		1S, 5S1	
003201004000	827 - 827 CHURCH ST			1905	Classical Revival, Craftsman	3	5S3	
003264003000	585 - 595 COOMBS ST	595 Coombs St		1910	Queen Anne	3	1D	NAPA ABAJO/FULLER PK
003264003000	585 - 595 COOMBS ST	587-591 Coombs St		1880	Greek Revival, None/Altered		1D	NAPA ABAJO/FULLER PK
003271005000	623 - 623 COOMBS ST		Treadway & Wigger Funeral Chapel	1920	Modern	2	5S3	
003300001000	821 - 821 COOMBS ST			1915	20th Century Commercial	3	5S3	
003133009000	1207 - 1207 COOMBS ST	1210 Pearl St		1895	Vernacular	2	5S3	
003133008000	1213 - 1213 COOMBS ST			1870	Vernacular	2	5S3	
003133007000	1219 - 1219 COOMBS ST	1219A Coombs St		1880	Vernacular	2	5S3	
003133006000	1227 - 1237 COOMBS ST			1880	Vernacular	2	5S3	
003264002000	1236 - 1236 DIVISION ST		Lamdin Cottage	1870	Greek Revival	1	1D	NAPA ABAJO/FULLER PK
003271006000	1224 - 1224 FIFTH ST			1895	Craftsman	3	1D	NAPA ABAJO/FULLER PK
003241002000	731 - 731 FIRST ST			1870	Vernacular	2	5S3	
003231002000	967 - 975 FIRST ST		Semorile Building	1888	19th Century Commercial	1	1S, 5S1	
003167011000	1026 - 1030 FIRST ST		First National Bank	1905	Beaux Arts, Classical Revival	1	1S, 5S1	
003166004000	1130 - 1146 FIRST ST	1014 Coombs	Gordon Building	1920	Spanish Colonial Revival	1	1S, 5S1	
003214012000	1139 - 1139 FIRST ST			1920	20th Century Commercial	3	5S3	
003214002000	1141 - 1141 FIRST ST			1920	20th Century Commercial		5S3	
003211003000	1201 - 1209 FIRST ST	931-937 Coombs St	Native Sons of Golden West Bldg	1915	Renaissance Revival, 20th Century Commercial	2	5S3	
003164005000	1202 - 1202 FIRST ST	1005 Coombs Street	Napa Valley Register Building	1905	Classical Revival	1	1S, 5S1	
003164021000	1212-1222 FIRST ST	1025 Coombs St	Merrill's Building	1925	Mediterranean Revival		3S	
003211002000	1219 - 1219 FIRST ST		Goodman Library; Napa County Historical Society	1901	Romanesque Revival	1	1S, 5S1	
003211001000	1227 - 1245 FIRST ST		Migliavacca Building (1916)	1916	20th Century Commercial	3	5S3	
003198018000	1564 - 1564 FIRST ST			1915	Craftsman	3	5S3	
003198019000	1580 - 1580 FIRST ST			1890	Queen Anne	2	5S3	
003196005000	1607 - 1607 FIRST ST			1903	Craftsman	2	5S3	
003196002000	1635 - 1635 FIRST ST			1905	Shingle	2	5S3	
003196001000	1645 - 1645 FIRST ST			1905	Classical Revival	2	5S3	
003192005000	1750 - 1750 FIRST ST	1775 Clay Street	Noyes Mansion/Wine Spectator	1902	Classical Revival		1S, 3B, 5S1	FIRST-JEFFERSON
003193007000	1755 - 1755 FIRST ST		Katcher House; Blackbird Inn	1915	Craftsman	2	3B, 5B	FIRST-JEFFERSON
003206006000	1426 - 1426 FOURTH ST			1930	Mediterranean Revival	3	5S3	
003209007000	700 - 700 FRANKLIN ST			1895	Queen Anne	2	5S3	
003206004000	709 - 709 FRANKLIN ST			1880	Stick/Eastlake	1	3S	
003206003000	715 - 715 FRANKLIN ST		The Plunge; Community Thrift Shop	1905	Mission Revival	2	5S3	
003205004000	817 - 817 FRANKLIN ST		Bickford House	1880	Italianate	2	5S3	
003205012000	833 - 833 FRANKLIN ST		Robert Sterling House	1872	Italianate	1	3S	
003207008000	920 - 930 FRANKLIN ST			1950	Googie	3	5S3	
003193009000	952 - 952 JEFFERSON ST			1890	Queen Anne	2	5S3	
003277002000	500 - 550 MAIN ST		Hatt Building (1884)	1884	19th Century Commercial		1S, 5S1	
003277003000	530 - 530 MAIN ST		Hatt Building (1886)	1886	19th Century Commercial		1S, 5S1	

c_apn	c_full_address	add_bldg_address	bldg_name_alt	yrbuilt	archt_style	HRI	CHRSC	district
003222008000	813 - 813 MAIN ST		Fajiani Building	1908	Art Moderne, Renaissance Revival	1	3S	
003221012000	901 - 901 MAIN ST	900 Brown Street	Bank of Napa; Wells Fargo	1923	Classical Revival	1	1S, 5S1	
003231008000	902 - 912 MAIN ST		Oberon Building; Downtown Joe's	1933	Art Deco		5S1	
003231001000	942 - 948 MAIN ST		Winship Building	1888	19th Century Commercial	1	1S, 5S1	
003172003000	1030 - 1030 MAIN ST		Napa Opera House	1879	Italianate	1	1S, 5S1	
003172007000	1038 - 1040 MAIN ST		Mathis-Flanagan Building	1907	Classical Revival	1	5S3, 7N1	
003172011000	1122 - 1142 MAIN ST		Kyser/Williams Block	1900	19th Century Commercial	0	3S	
003137005000	1201 - 1201 MAIN ST		Napa Firefighter's Museum	1935	20th Century Commercial		5S3	
003143009000	1202 - 1214 MAIN ST	964-980 Pearl St	Lazarus Building	1936	20th Century Commercial	3	5S3	
003137003000	1245 - 1245 MAIN ST		Sam Kee Laundry/Pfeiffer Building	1875	Italianate	1	1S, 5S1	
003243008000	906 - 906 MCKINSTRY ST			1880	Italianate	2	5S3	
003197001000	1461 - 1461 POLK ST			1880	Italianate	2	5S3	
003191002000	1525 - 1527 POLK ST		Christian Science Church	1915	Romanesque Revival	2	5S3	
003264001000	590 - 590 RANDOLPH ST		Robert P. Lamdin House	1895	Queen Anne	1	1D	NAPA ABAJO/FULLER PK
003271007000	608 - 608 RANDOLPH ST		E.R. Gifford House	1888	Queen Anne	1	1D	NAPA ABAJO/FULLER PK
003271008000	618 - 620 RANDOLPH ST			1905	Craftsman	3	1D	NAPA ABAJO/FULLER PK
003262007000	625 - 625 RANDOLPH ST		First United Methodist Church	1916	Classical Revival	1	3S, 5S1	
003271001000	642 - 642 RANDOLPH ST			1880	Italianate	3	5S3	
003205013000	830 - 832 SCHOOL ST			1905	Craftsman	3	5S3	
003207006000	1310 - 1310 SECOND ST		Napa Savings and Loan	1960	Modern		5S3	
003208001000	1351 - 1351 SECOND ST		U.S. Post Office - Franklin Station	1933	Art Deco	1	1S, 5S1	
003202001000	1553 - 1553 SECOND ST			1900	Queen Anne, Vernacular	2	5S3	
003251005000	1763 - 1763 SECOND ST			1905	Craftsman	3	5S3	
003194005000	1766 - 1776 SECOND ST			1900	Queen Anne	3	5S3	
003193004000	1778 - 1778 SECOND ST		Golden State Lumber Inc	1905	Vernacular	3	5S3	
003193008000	1790 - 1792 SECOND ST			1890	Queen Anne	2	5S3	
003198001000	1042 - 1042 SEMINARY ST			1905	Vernacular	2	5S3	
003191003000	1133 - 1133 SEMINARY ST			1915	Shingle	2	5S3	
006133002000	920 - 930 THIRD ST		Borreo Building	1877	19th Century Commercial	1	5S1	
003208004000	1332 - 1364 THIRD ST		Uptown Theater	1935	Art Deco	2	5S3	
003209004000	1333 - 1333 THIRD ST		First Presbyterian Church	1874	Gothic Revival	1	1S, 5S1	
003202008000	1516 - 1516 THIRD ST			1885	Queen Anne, Stick/Eastlake	1	3S	
003202009000	1526 - 1526 THIRD ST			1889	Folk Victorian	1	3S	
003201006000	1538 - 1538 THIRD ST		Gilmore Oil Co. Gas Station	1940	Art Moderne	3	7N*	
003201001000	1562 - 1562 THIRD ST		Nichols House	1879	Stick/Eastlake	1	3S	
003251017000	1742 - 1742 THIRD ST			1890	Vernacular	2	5S3	
003251019000	1766 - 1766 THIRD ST			1922	Craftsman	3	5S3	
003173009000	1100 - 1100 WEST ST		City of Napa Parks & Recreation Bldg	1900	Craftsman, Vernacular	2	5S3	

* Page & Turnbull found the property at 1538 Third Street to meet the eligibility criteria for listing as a local landmark, and suggested a "5S3" status code. However, during the public outreach process for the Downtown Napa Survey, the property owner of 1538 Third Street objected to the survey findings, and a peer review of Page & Turnbull's findings was conducted, resulting in a difference of professional opinions. The "7N" status code assigned here indicates that further study will be needed to resolve this difference of opinions; in the future, the City Council could consider supplemental information or opinions in addition to Page & Turnbull's findings to determine whether this property is eligible for local landmark designation.

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